

PUBLIC HEARING AND CITY COUNCIL MEETING
Tuesday, December 8, 2009 7:00 p.m.
Public Safety Building
3925 W Cedar Hills Drive, Cedar Hills, Utah

This meeting may be held electronically via telephone to permit one or more of the council members to participate.

NOTICE is hereby given that the City Council of the City of Cedar Hills, Utah, will hold a Public Hearing in connection with their Regular City Council Meeting on Tuesday, December 8, 2009, beginning at 7:00 p.m.

COUNCIL MEETING

1. Call to Order, Invocation and Pledge
2. Public Comment: Time has been set aside for the public to express their ideas, concerns, and comments (Comments limited to 3 minutes per person with a total of 30 minutes for this item).

PUBLIC HEARINGS

3. Concept/Preliminary/Final Plat for a 1-Lot Subdivision Located at Approximately 3800 West and Box Elder Drive

CONSENT AGENDA

4. Minutes from the November 10, 2009, Public Hearing and Regular City Council Meeting

SCHEDULED ITEMS

5. Review/Action on 2009 Fiscal Year Audit
6. Review/Action on Setbacks for Property Located at 9425 N Avanyu Drive
7. Review/Action on Final for the McDonalds Site Plan Located at Approximately 10180 North 4800 West
8. Review/Action on Proposal by The Cedars Townhomes HOA Regarding the Park Located on Sage Vista Lane
9. Review/Action on Resolution Setting Park Reservation Policies and Park Regulations
10. Review/Action on Resolution Adopting Fees
11. Review/Action on Ordinance Setting the Time and Place of City Council Meetings for 2010
12. Review/Action on New Location for the Eagle Scout Project for a Welcome to Cedar Hills Sign
13. City Manager Report and Discussion

MAYOR AND COUNCIL REPORTS

14. Board and Committee Reports

EXECUTIVE SESSION

15. Motion to go into Executive Session, Pursuant to Utah State Code 52-4-205
* * * EXECUTIVE SESSION * * *
16. Motion to Adjourn Executive Session and Reconvene City Council Meeting

ADJOURNMENT

17. Adjourn

Posted this 4th day of December, 2009.

Kim E. Holindrake, City Recorder

- Supporting documentation for this agenda is posted on the City's Web Site at www.cedarhills.org.
- In accordance with the Americans with Disabilities Act, the City of Cedar Hills will make reasonable accommodations to participate in the meeting. Requests for assistance can be made by contacting the City Recorder at least 48 hours in advance of the meeting to be held.
- The order of agenda items may change to accommodate the needs of the City Council, the staff, and the public.



CITY OF CEDAR HILLS

TO:	Mayor McGee & City Council
FROM:	Konrad Hildebrandt, City Manager
DATE:	12/2/2009

City Council Memorandum

SUBJECT:	Fiscal Year 2009 Audit
APPLICANT PRESENTATION:	Hawkins, Cloward & Simister
STAFF PRESENTATION:	Rebecca Tehero
BACKGROUND AND FINDINGS: Pursuant to State requirements, we have recently concluded our independent audit for Fiscal Year 2009. Hawkins, Cloward, & Simister completed the audit and will present their findings.	
PREVIOUS LEGISLATIVE ACTION:	
FISCAL IMPACT: None	
SUPPORTING DOCUMENTS: FY 2009 Independent Audit Report	
RECOMMENDATION: By motion, accept the FY 2009 independent audit report.	
MOTION: To accept the FY 2009 Independent Audit Report.	



CITY OF CEDAR HILLS

TO:	Mayor and City Council
FROM:	Greg Robinson, Assistant City Manager
DATE:	12/8/2009

City Council Agenda Item

SUBJECT:	Review/Action on Setbacks for Property Located at 9425 Avanyu Dr.
APPLICANT PRESENTATION:	Mr. Thayne Routh
STAFF PRESENTATION:	Greg Robinson, Assistant City Manager

BACKGROUND AND FINDINGS:

The Council continued this item from the November meeting in order to give Mr. Richards time to review his options.

Mr. Routh is seeking a change in the setbacks for his lot due to an error by the construction company who used the wrong pin to pull a property line from, resulting in a south side setback of 6 feet instead of 12 feet. Mr. Routh has made attempts to work with his neighbor to the south, but has been unsuccessful in reaching an agreement with him to resolve the issue. Because this property is in a planned residential development (PRD) the City Council can make a finding regarding the setbacks and adjust them to less than what is required in that particular zone. Without the ability to correct this issue by purchasing property from a neighbor, Mr. Routh is petitioning the Council to make a finding that would allow him to maintain the same property line and adjust the setback for his lot.

PREVIOUS LEGISLATIVE ACTION:

11/10/2009 – City Council continued this item

FISCAL IMPACT:

N/A

SUPPORTING DOCUMENTS:

Avanyu Acres Plat A

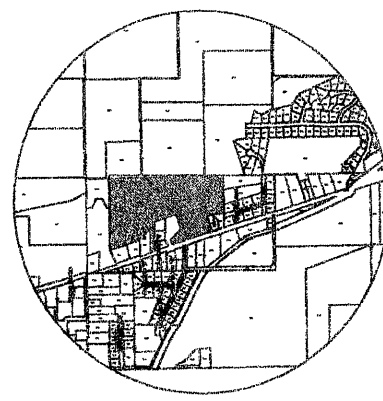
RECOMMENDATION:

Since the south side neighbor has been unwilling to work with Mr. Routh in resolving this issue, and this is not a self imposed hardship, staff would recommend making an adjustment to the setbacks for lot 19 so that this lot does not violate city zoning code.

MOTION:

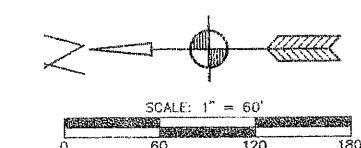
Making the following finding regarding the side setback for Avanyu Acres, Plat A, Lot 19 as follows: that the change in setback does not create a hazardous condition, nor will it adversely affect surrounding residents. That varying from the designated setback is appropriate for the zone and property location. A variance from the rear setback does not change the development's density nor the required distance between the dwelling units. That this change complies with the zoning regulations. I move to approve/not approve an amendment to Avanyu Acres Plat A, and amend the side setback for lot 19 from a 12 foot setback to a 6 foot setback.

SEE SHEET TWO FOR CURVE
DATA & LINE TABLE



UNLESS OTHERWISE NOTED ALL LOTS HAVE CEDAR HILLS STANDARD
SETBACKS (30' FRONT & BACK, 12' SIDE).
LOTS 11, 12, 20 - 23, 38 HAVE A 22' FRONT SETBACK AND A 12'
SIDE EXCEPT AS NOTED.
ALL LOTS WITH ADJACENT PARKING CUTS ARE A 19' SETBACK FROM
THE PROPERTY LINE AT THE PARKING CUT.

NOTE: THE AREA OF ALL STREETS, BOTH PUBLIC AND PRIVATE, WITHIN
THE PLAT BOUNDARIES ARE DEDICATED TO THE CITY OF CEDAR HILLS
FOR PUBLIC UTILITY EASEMENTS.



ACKLEY ENGINEERING
PHONE (801) 375-1847 FAX (801) 375-8730
1095 SOUTH 1100 WEST, PROVIDENCE, UTAH 84601

Sheet Number:
1/2

SURVEYOR'S CERTIFICATE

I, DAVID M. ACKLEY, DO HEREBY CERTIFY THAT I AM A REGISTERED LAND
SURVEYOR AND THAT I HOLD CERTIFICATE NO. 152123, AS PRESCRIBED UNDER THE
LAWS OF THE STATE OF UTAH. I FURTHER CERTIFY BY AUTHORITY OF THE OWNERS,
I HAVE MADE A SURVEY OF THE TRACT OF LAND SHOWN ON THIS PLAT AND
DESCRIBED BELOW, AND HAVE SUBDIVIDED SAID TRACT OF LAND INTO LOTS, BLOCKS,
STREETS, AND EASEMENTS AND THE SAME HAS BEEN CORRECTLY SURVEYED AND
STAKED ON THE GROUND AS SHOWN ON THIS PLAT AND THAT THIS PLAT IS TRUE
AND CORRECT.

BOUNDARY DESCRIPTION

COMMENCING AT A POINT WHICH IS SOUTH 332.74 FT AND NORTH 89° 47' 57" WEST
281.15 FT FROM THE NORTH QUARTER CORNER OF SECTION 8, TOWNSHIP 5 SOUTH,
RANGE 2 EAST, SALT LAKE BASE AND MERIDIAN; THENCE

COURSE	DISTANCE	REMARKS
S 26°34'07" E	158.35 FT	
S 24°23'03" E	94.50 FT	
S 22°21'14" E	498.47 FT	
S 05°47'43" E	903.46 FT	
S 89°41'53" W	524.34 FT	
NORTH	111.13 FT	
N 16°53'27" W	126.26 FT	
S 73°16'47" W	218.30 FT	
N 17°56'20" W	70.03 FT	
N 18°18'32" W	534.51 FT	
N 72°16'23" E	115.62 FT	
N 72°33'03" E	269.34 FT	
N 18°51'42" W	318.31 FT	
S 89°38'39" W	77.60 FT	
N 48°47'16" W	91.56 FT	
NORTH	72.44 FT	
N 45°17'51" W	102.07 FT	
N 89°59'58" W	34.37 FT	
N 17°59'00" W	431.89 FT	
S 89°59'42" E	387.02 FT	
S 89°59'58" E	118.70 FT	TO THE POINT OF BEGINNING.

AREA - 25.821 ACRES
BASIS OF BEARING - UTAH STATE PLANE COORDINATE SYSTEM BEARING OF SECTION
LINES - UTAH CENTRAL ZONE

FEBRUARY 2, 2001
DATE

OWNER'S DEDICATION

THE OWNER(S) OF THE PARCEL OF LAND WHICH IS SHOWN UPON THE PLAT HEREON,
DOES CONSENT TO THE PREPARATION AND RECORDATION OF THIS PLAT AND DOES
HEREBY OFFER AND CONVEY TO ALL PUBLIC UTILITY AGENCIES AND THEIR
SUCCESSORS AND ASSIGNS A PERMANENT EASEMENT AND RIGHT-OF-WAY AS SHOWN
AND MARKED "PUBLIC UTILITY EASEMENT (PUE)" AND "PRIVATE STREETS" ON THE
WITHIN PLAT FOR THE CONSTRUCTION AND MAINTENANCE OF SUBTERRANEAN
ELECTRICAL, TELEPHONE, CABLE, NATURAL GAS, SEWER, AND WATER LINES AND
APPURTENANCES, TOGETHER WITH THE RIGHT OF ACCESS THERETO.

IN WITNESS WHEREOF WE HAVE HEREUNTO SET OUR HANDS THIS 7th
DAY OF February, A.D. 2001

R. D. REX DALEY,
Bald Mt Dev LLC General partner

ACKNOWLEDGMENT

STATE OF UTAH } S.S.
COUNTY OF UTAH }

ON THE 7th DAY OF February, A.D. 2001 PERSONALLY APPEARED
BEFORE ME THE SIGNERS OF THE FOREGOING DEDICATION WHO DULY ACKNOWLEDGE TO
ME THAT THEY DID EXECUTE THE SAME. (Key Dailey)

MY COMMISSION EXPIRES 7-1-01
Tami E. Holindrake
NOTARY PUBLIC
(SEE SEAL BELOW)

ACCEPTANCE BY MAYOR

THE CITY COUNCIL OF THE CITY OF CEDAR HILLS, COUNTY OF UTAH,
APPROVES THIS SUBDIVISION AND HEREBY ACCEPTS THE DEDICATION OF ALL STREETS,
EASEMENTS, AND OTHER PARCELS OF LAND INTENDED FOR PUBLIC PURPOSES FOR THE
PERPETUAL USE OF THE PUBLIC THIS 7th DAY OF November, A.D. 2000.

BRAD SEARS MAYOR
APPROVED: Tami E. Holindrake
ENGINEER
(SEE SEAL BELOW)

PLANNING COMMISSION APPROVAL

APPROVED THIS 12th DAY OF October, A.D. 2000, BY THE
CEDAR HILLS PLANNING COMMISSION.

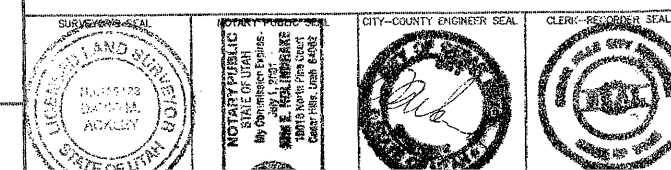
Tami E. Holindrake
DIRECTOR SECRETARY

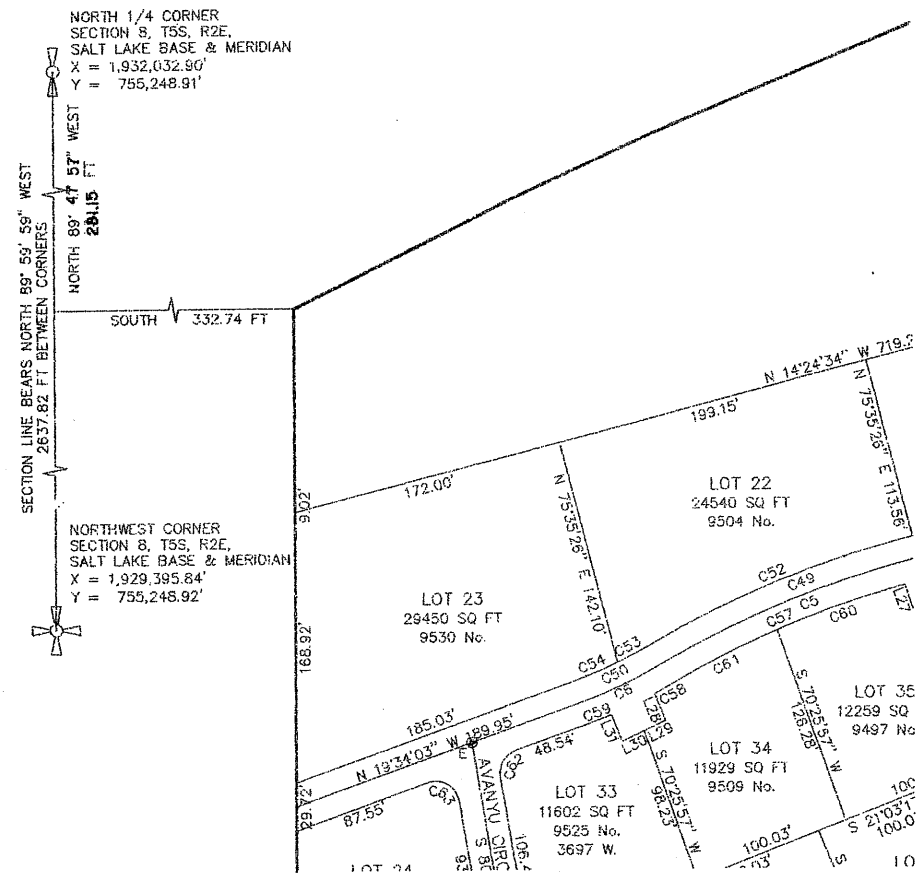
PLAT "A"
RANDALL P. COVINGTON
UTAH COUNTY RECORDER
2001 Feb 29 9:47 AM REC'D IN PM
RECORDED FOR CEDAR HILLS CITY

AVANYU ACRES

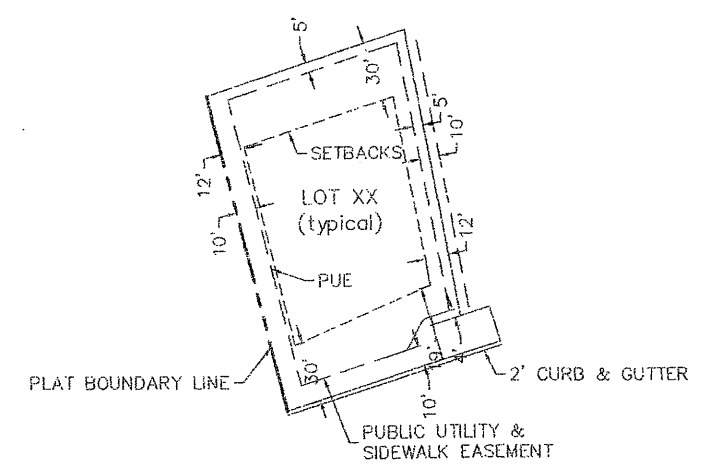
PLANNED UNIT DEVELOPMENT

CEDAR HILLS CITY, UTAH COUNTY, UTAH





SECTION CORNER TIE DETAIL



TYPICAL LOT DETAIL

NUMBER	RADIUS FT	LENGTH FT	DELTA	TANGENT FT	CHORD BEARING	CHORD FT
C1	98.00	31.06	18°09'33"	15.66	N 81°37'49" E	30.93
C2	89.00	124.40	80°05'14"	74.80	S 57°29'34" E	114.52
C3	89.00	150.56	96°55'44"	100.47	N 33°59'56" E	133.24
C4	289.00	16.03	03°10'44"	8.02	N 12°52'34" W	16.03
C5	625.12	206.47	18°55'25"	104.18	N 20°44'54" W	205.53
C6	289.00	53.68	10°38'34"	26.92	N 24°53'20" W	53.61
C7	261.00	125.15	27°28'24"	63.80	S 36°16'35" E	123.95
C8	289.00	49.16	09°44'47"	24.84	S 45°08'24" E	49.10
C9	74.00	82.92	64°11'55"	46.42	S 72°21'58" E	78.65
C10	20.00	38.05	109°01'08"	28.05	N 36°12'02" E	32.57
C11	126.00	39.93	18°09'33"	20.14	N 81°37'49" E	39.77
C12	70.00	22.19	18°09'33"	11.19	N 81°37'49" E	22.09
C13	15.00	18.63	71°09'03"	10.73	S 71°52'26" E	17.45
C14	50.00	113.39	129°56'28"	107.08	N 42°28'43" W	90.61
C15	50.00	55.79	63°56'07"	31.20	S 68°15'57" E	52.94
C16	50.00	49.98	57°16'28"	27.30	N 51°07'45" E	47.93
C17	15.00	21.67	82°47'06"	13.22	S 58°50'28" E	19.84
C18	15.00	10.46	39°56'28"	5.45	S 02°31'17" W	10.25
C19	50.00	8.10	09°16'36"	4.06	S 12°48'39" E	8.09
C20	84.37	73.49	49°54'23"	39.26	S 33°07'32" E	71.19
C21	84.37	53.38	36°14'50"	27.62	S 76°12'09" E	52.49
C22	84.37	18.39	12°29'14"	9.23	N 79°25'49" E	18.35
C23	84.37	145.26	98°38'27"	98.16	S 57°29'34" E	127.97
C24	75.00	104.83	80°05'14"	63.03	S 57°29'34" E	96.51
C25	50.00	8.10	09°16'36"	4.06	N 77°49'30" E	8.09
C26	50.00	3.55	04°04'23"	1.78	N 75°13'24" E	3.55
C27	50.00	4.54	05°12'13"	2.27	S 79°51'42" W	4.54
C28	15.00	22.30	85°11'16"	13.79	S 54°58'33" E	20.30
C29	42.00	68.61	90°52'16"	42.64	S 57°47'03" E	59.85
C30	42.00	151.53	206°42'42"	176.90	N 25°34'26" W	81.73
C31	15.00	30.29	115°42'37"	23.87	N 71°04'29" W	25.40
C32	42.00	6.85	09°04'32"	3.33	S 16°53'11" E	6.85
C33	42.00	37.05	50°32'53"	19.83	S 46°41'53" E	35.86
C34	42.00	22.91	31°14'51"	11.75	S 87°35'45" E	22.62
C35	42.00	38.25	52°10'25"	20.56	N 51°41'42" E	36.94
C36	42.00	60.87	83°01'56"	37.18	N 15°54'28" W	55.68
C37	42.00	52.42	71°30'22"	30.24	S 86°49'23" W	49.08
C38	15.00	25.09	95°49'30"	16.61	N 35°33'50" E	22.26
C39	75.00	126.88	96°55'44"	84.67	S 33°59'56" E	112.28
C40	88.21	163.61	106°16'36"	117.64	N 30°20'17" E	141.14
C41	88.21	58.65	38°05'50"	30.46	N 64°25'40" E	57.58
C42	87.42	105.09	68°52'54"	59.95	N 11°17'22" E	98.88
C43	50.00	7.27	08°20'06"	3.64	N 18°37'59" W	7.27
C44	25.00	13.09	30°00'00"	6.70	S 00°32'04" W	12.94
C45	25.00	13.09	30°00'00"	6.70	N 00°32'04" E	12.94
C46	25.00	13.09	30°00'00"	6.70	N 29°27'56" W	12.94
C47	25.00	13.09	30°00'00"	6.70	N 29°27'56" W	12.94
C48	275.00	15.26	03°10'44"	7.63	N 12°52'34" W	15.26
C49	639.12	211.09	18°55'25"	108.51	N 20°44'54" W	210.13
C50	275.00	51.08	10°38'34"	25.61	N 24°53'20" W	51.01
C51	639.12	30.11	02°41'57"	15.06	N 12°36'11" W	30.11
C52	539.12	180.98	16°13'28"	91.10	N 22°05'53" W	180.38
C53	275.00	20.99	04°22'20"	10.50	N 26°01'27" W	20.98
C54	275.00	30.10	08°16'14"	15.06	S 22°42'10" E	30.08
C55	303.00	18.81	03°10'44"	8.41	N 12°52'34" W	18.81
C56	611.12	10.54	00°59'19"	5.27	N 11°46'51" W	10.54
C57	611.12	161.14	15°06'26"	81.04	N 22°39'24" W	160.67
C58	303.00	10.75	02°01'58"	5.38	N 29°11'38" W	10.75
C59	303.00	15.48	02°55'40"	7.74	N 21°01'53" W	15.48
C60	611.12	85.07	07°58'33"	42.60	N 19°05'27" W	85.00
C61	611.12	76.06	07°07'53"	38.08	N 26°38'40" W	76.02
C62	15.00	20.94	80°00'00"	12.59	N 59°34'03" W	19.28
C63	15.00	26.18	100°00'00"	17.88	N 30°25'57" E	22.98
C64	40.00	71.89	102°58'21"	50.26	S 28°56'47" W	62.60
C65	15.00	4.80	18°19'08"	2.42	S 89°35'31" W	4.78
C66	58.00	141.33	139°36'36"	157.68	S 28°56'47" W	108.87
C67	58.00	51.78	51°09'10"	27.76	S 73°10'30" W	50.08
C68	58.00	19.77	19°31'55"	9.98	S 37°49'57" W	19.68
C69	58.00	69.77	68°55'31"	39.81	S 06°23'46" E	65.64
C70	15.00	4.80	18°19'08"	2.42	S 31°41'57" E	4.78
C71	275.00	131.86	27°28'24"	67.22	S 36°16'35" E	130.60
C72	247.00	118.44	27°28'24"	60.38	S 36°16'35" E	117.30
C73	247.00	81.85	18°59'13"	41.30	S 32°02'00" E	81.48
C74	247.00	36.58	08°29'11"	18.33	S 45°46'12" E	36.55
C75	303.00	51.54	09°44'47"	25.83	S 45°08'24" E	51.48
C76	25.00	13.33	30°32'36"	6.83	S 34°44'29" E	13.17
C77	25.00	9.07	20°47'50"	4.59	S 29°52'08" E	9.02
C78	25.00	14.54	33°19'35"	7.48	S 56°55'49" E	14.34
C79	25.00	12.97	29°43'56"	6.64	S 58°43'38" E	12.63
C80	88.00	93.08	60°36'16"	51.43	S 74°09'48" E	88.90
C81	88.00	10.96	07°08'01"	5.49	S 47°25'40" E	10.95
C82	88.00	82.13	53°28'15"	44.33	S 77°43'48" E	79.18
C83	60.00	67.23	64°11'55"	37.64	S 72°21'58" E	63.77
C84	15.00	23.56	90°00'00"	15.00	N 30°32'04" E	21.21
C85	15.00	23.56	90°00'00"	15.00	S 59°27'56" E	21.21
C86	54.00	97.05	102°58'21"	67.85	N 28°56'47" E	84.51
C87	50.00	219.17	251°09'03"	69.90	N 18°07'35" E	81.34

NUMBER	DIRECTION	DISTANCE
L1	S 72°33'00" W	18.00'
L2	S 17°26'57" E	15.00'
L3	S 17°26'57" E	15.00'
L4	S 72°33'00" W	18.00'
L5	S 17°26'57" E	28.01'
L6	N 72°33'03" E	18.00'
L7	S 17°26'57" E	15.10'
L8	S 17°26'57" E	15.10'
L9	S 72°33'03" W	18.00'
L10	S 17°26'57" E	15.09'
L11	S 77°39'05" W	18.00'
L12	S 12°20'55" E	15.05'
L13	S 12°20'55" E	15.05'
L14	N 77°39'05" E	18.00'
L15	S 75°32'04" W	18.00'
L16	N 14°27'56" W	15.00'
L17	N 14°27'56" W	15.00'
L18	N 75°32'04" E	18.00'
L19	N 14°27'56" W	15.47'
L20	S 75°32'04" W	18.00'
L21	N 14°27'56" W	14.95'
L22	N 14°27'56" W	15.17'
L23	N 75°32'04" E	18.00'
L24	S 70°25'57" W	18.00'
L25	N 13°41'21" W	15.08'
L26	N 13°41'21" W	15.08'
L27	N 70°25'57" E	18.00'
L28	S 67°30'17" W	18.00'
L29	N 25°20'11" W	14.96'
L30	N 25°20'11" W	15.08'
L31	N 67°30'17" E	18.00'
L32	N 09°34'03" W	18.00'
L33	S 80°25'57" W	15.01'
L34	S 80°25'57" W	15.01'
L35	S 09°34'03" E	18.00'
L36	S 80°25'57" W	31.03'
L37	N 22°32'23" W	6.95'
L38	S 67°26'55" W	18.00'
L39	S 22°32'23" E	15.00'
L40	S 22°32'23" E	15.00'
L41	N 67°26'55" E	18.00'
L42	S 13°13'11" E	25.87'

MONUMENT	X: COORDINATE	Y: COORDINATE
A	1,931,362.13	753,894.75
B	1,931,687.60	753,695.28
C	1,931,731.75	753,493.57
D	1,931,685.58	754,162.73
E	1,931,480.15	754,805.95
F	1,931,363.44	754,420.40

13730-2001-011-001
 RANDALL T. LUDWIG
 STATE COUNTY RECORDER
 2001 Feb 20 9:07 AM PCE 181.06 BY AN
 RECORDED FOR DEER HILLS CITY

ACKLEY ENGINEERING

PROVO # (BCI) 375-1847
 1095 SOUTH 1100 WEST, PROVO, UT 84601

Date : FEB 2, 2001
 Dr. Br: CAC
 Job #: 20035
 Rev :

89448-102 (sheet 2 of 2)



CITY OF CEDAR HILLS

TO:	Mayor and City Council
FROM:	Greg Robinson, Assistant City Manager
DATE:	12/8/2009

City Council Agenda Item

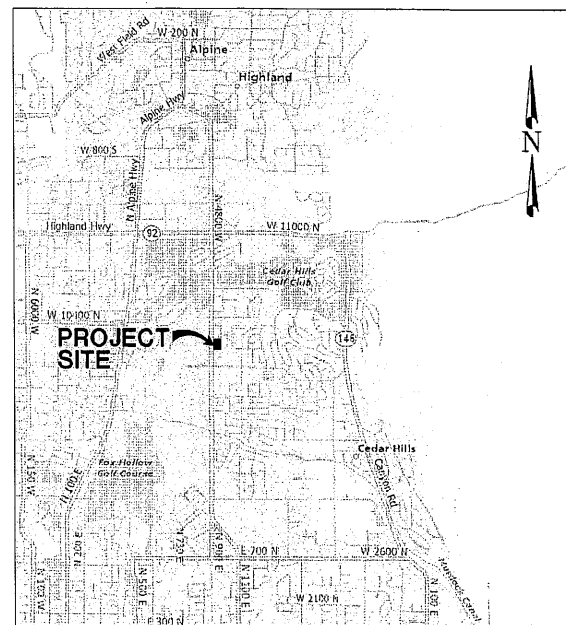
SUBJECT:	Review/Recommendation on Final for the McDonalds Site Plan Located at Approximately 10180 North 4800 West
APPLICANT PRESENTATION:	McDonald's Representatives
STAFF PRESENTATION:	Greg Robinson, Assistant City Manager
BACKGROUND AND FINDINGS: <p>The Planning Commission reviewed the plans for required changes and also for any additional necessary changes. Changes that have been added since the Council last reviewed the site plan include: dormers, door awning, brick columns, landscape berming, light design, cross gutter detail, added sidewalk connection from Chase property, 8-inch main, and isolation valves for their meter.</p> <p>Staff has received the updated traffic plan, but has not had enough time to completely review this document, but from the initial review appears to include the necessary information.</p> <p>Remaining items include: A McDonald's sample board for Council review, which McDonald's representatives assured staff that they will have it at the Dec. 8th meeting. The development agreement is the only major item remaining to complete.</p>	
PREVIOUS LEGISLATIVE ACTION: <p>11/10/2009 – City Council approved the preliminary site plan subject to; addition of brick columns, approval of sample board, virtual berming of landscape, landscape plan to match Walmart design, signage approval, a pedestrian connection with the property to the south, an updated traffic report, light box approval, and an executed development agreement.</p> <p>12/1/2009 – Planning Commission recommended approval of the final site plan, subject to: Light box detail, fire supply lines shall be a minimum main size of 8-inch, show isolation valves for meter detail with bypass, and submission of an updated traffic plan.</p>	
FISCAL IMPACT: <p>N/A</p>	
SUPPORTING DOCUMENTS: <p>McDonald's Site Plan Package</p>	
RECOMMENDATION: <p>Review previous actions for verification that past requirements have been met, review plans to ensure that design guidelines and city code and ordinance have been met.</p>	
MOTION: <p>To approve/not approve the final site approval for the McDonald's Site Plan located at approximately 10180 North 4800 West, subject to...</p>	



**4800 WEST ST. &
WEST CEDAR HILLS DRIVE
CEDAR HILLS, UTAH**

SITE IMPROVEMENT PLANS (CIVIL PACKAGE)

INDEX OF SHEETS



VICINITY MAP
N.T.S.

1 of 1	COVER SHEET
C-1	ALTA/ACSM LAND TITLE SURVEY
DT1.0	GENERAL NOTES
SP-2	McDONALDS DRIVE-THRU DETAILS
SP-3	SITE IMPROVEMENT PLAN
SP-4	UTILITY PLAN
SD-1	GRADING & DRAINAGE PLAN
	DRIVE THROUGH MENU BOARDS, C.O.D.,
	SITE LOCATION PLANS
SD-2	SITE DETAILS (McDONALDS)
SD-3	SITE DETAILS (McDONALDS)
SD-4	SITE DETAILS (McDONALDS)
SD-5	SITE DETAILS (McDONALDS)
SD-6a	SITE DETAILS
SD-6b	SITE DETAILS
SD-7	SITE DETAILS (STORM DRAINAGE DETAILS)
LS-1	LANDSCAPE PLAN
EC-1	EROSION CONTROL PLAN
EC-2	STORM WATER POLLUTION PREVENTION PLAN
A-2.0	ELEVATIONS
A-2.1	ELEVATIONS
LTG-1	LIGHTING PLAN
FP1.0	FIRE PROTECTION PLAN (REFERENCE ONLY)

FOR

OCTOBER, 2009

PREPARED BY

McDONALD'S CORPORATION

5251 DTC Parkway, Suite 300
Greenwood Village, Colorado 80111
(303) 779-0444



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



SURVEYOR'S CERTIFICATE:
I certify to Founders Title Company, Chicago Title Insurance Company and McDonald's USA, LLC, a Delaware limited liability company, McDonald's Real Estate Company, a Delaware corporation and McDonald's Corporation, a Delaware corporation and Cedar Hills-West, LLC, a Utah limited liability company, that this plan has been compiled from a survey actually made on the ground under my supervision on May 12, 2009; that it is correct and complies with the requirements provided by McDonald's Corporation.

BOUNDARY DESCRIPTION

Lot 1, Cedar Hills Retail Subdivision, Cedar Hills, Utah, according to the Official Plat thereof on file in the office of the Recorder, Utah County, Utah, described as follows:

A parcel of land located in the Northwest Quarter of Section 6, Township 5 South, Range 2 East, Salt Lake Base and Meridian, Utah County, Utah, described as follows:

BEGINNING at the Southwest Corner of Lot 1, Cedar Hills Retail Subdivision, said corner being North 00°02'52" West 1,050.37 feet along the west line of Section 6, Township 5 South, Range 2 East, Salt Lake Base and Meridian and North 89°57'08" East 36.95 feet from the West Quarter Corner of said Section 6, and thence North 00°02'52" West 222.44 feet to the Northwest Corner of said Lot 1; thence South 89°33'18" East 160.72 feet to the Northeast Corner of said Lot 1; thence South 00°26'04" West 212.91 feet to the Southeast Corner of said Lot 1; thence South 87°00'49" West 159.13 feet to the POINT OF BEGINNING. Said parcel contains 34,784 square feet or 0.80 acres, more or less.

Date: _____

Mark N Gregory
P.L.S. No. 334576



NARRATIVE:

The purpose of this survey is to retrace Cedar Hills Retail Subdivision and to perform an ALTA/ACSM Land Title Survey on Lot 1 of said subdivision to facilitate future development. The Northwest and West Quarter Corners of Section 6, Township 5 South, Range 2 East, Salt Lake Base and Meridian are used to control the location of the subject property.

The vertical benchmark for this survey is the Utah County monument found marking the Northwest Corner of said Section 6, elevation 4900.98.

The subject property is located in an SC-1, Shopping Center, Zone.

BASIS OF BEARING:

The basis of bearing for this survey is North 00°02'52" West along the west line of said Section 6 per the recorded plat of Cedar Hills Retail Subdivision.

SCHEDULE B - EXCEPTIONS:

Founders Title Company Order No. 1-770304 dated April 28, 2009.

Exception No. 11: Resolution No. 2008-126, executed by Board of County Commissioners of Utah County, Utah, recorded September 30, 2008 as Entry No. 107508:2008, in the office of the Recorder, Utah County, Utah. Survey findings: The subject property is located within the boundaries of the Utah Valley Dispatch Special Services District and is subject to its assessments.

Exception No. 12: Ordinance No. 5-15-2007A, an Ordinance Granting Approval of The Final Site Plan of the Cedar Hills Retail Subdivision - A Planned Commercial Development (Wal-Mart) dated May 15, 2007 executed by the City of Cedar Hills, recorded January 17, 2008, as Entry No. 6243:2008, in the office of the Recorder, Utah County, Utah. Survey findings: The Ordinance cited in this exception is not survey related.

Exception No. 13: Ordinance No. 5-15-2007B, an Ordinance Granting Approval of The Final Site Plan of the Cedar Hills Retail Subdivision - A Planned Commercial Development (Phillips Edison) executed by the City of Cedar Hills-West, LLC, a Utah Limited Liability Company, recorded January 17, 2008 as Entry No. 6244:2008, in the office of the Recorder, Utah County, Utah. Survey findings: The Ordinance cited in this exception is not survey related.

Exception No. 14: Certificate of Creation dated October 20, 2008, executed by State of Utah, recorded October 22, 2008 as Entry No. 114949:2008, in the office of the Recorder, Utah County, Utah. Survey findings: The subject property is located within the boundaries of the Utah Valley Dispatch Special Services District and is subject to its assessments.

Exception No. 15: Notes as shown on the recorded plat of said subdivision. Survey findings: Note No. 4 states that "the owners, employees, and patrons of uses constructed upon Lots 1, 2, 3, and 4 are hereby granted the right of vehicular and pedestrian access over and upon all areas within the said lots designated on the approved site plan for vehicular and pedestrian travel."

Exception No. 16: Easement for installation and maintenance of utilities and drainage facilities, and incidental purposes are reserved, as shown on the recorded plat of said Subdivision. Survey findings: The plat of Cedar Hills Retail Subdivision does not show any easements located on the subject property.

Exception No. 17: Easements With Covenants and Restrictions Affecting Land (ECR) recorded: July 12, 2007 as Entry No. 101006:2007. Survey findings: Section 4.2 of the document cited in this exception states that "no building on Lot 1 may exceed 8,000 square feet in size." This document also creates easements for encroachments and vehicle and pedestrian access across Lot 4, as well as easements across common areas for the installation and maintenance of public utility services.

Exception No. 18: Cedar Hills Retail Subdivision Development Agreement and the terms, conditions and limitations contained therein recorded: July 12, 2007 as Entry No. 101007:2007. Survey findings: The Agreement cited in this exception is not survey related.

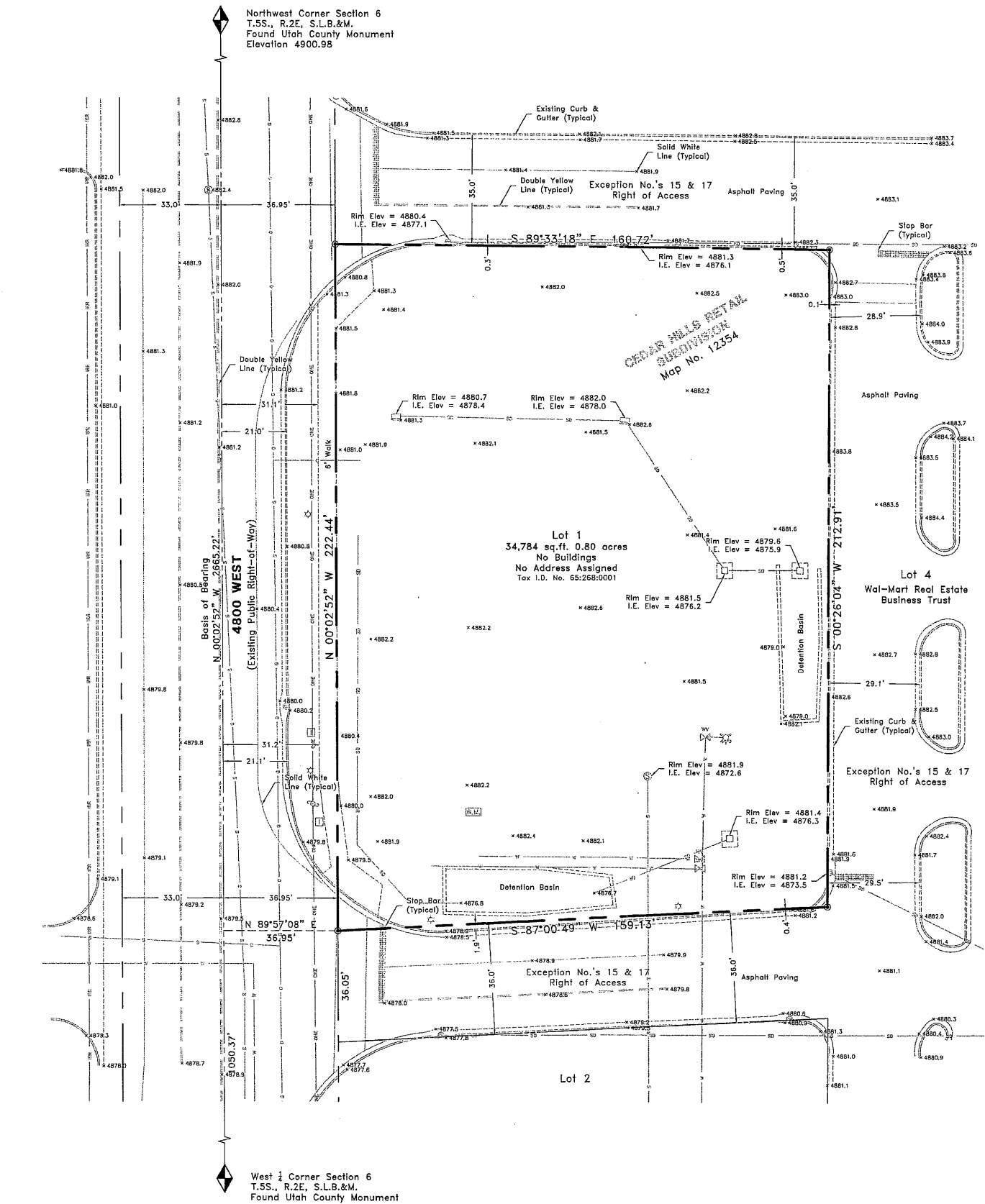
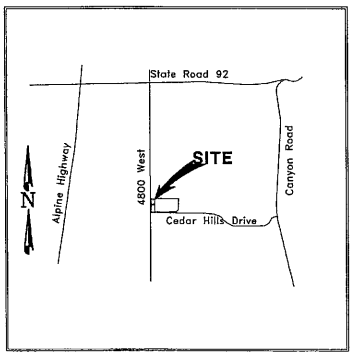
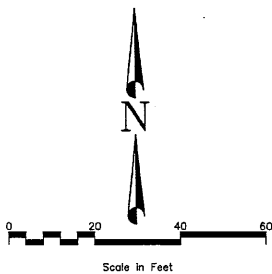
Exception No. 19: Cedar Hills Retail Subdivision Development Agreement and the terms, conditions and limitations contained therein recorded: January 17, 2008 as Entry No. 6242:2008. Survey findings: The Agreement cited in this exception is not survey related.

LEGEND

- Section Corner Monument (As Noted)
- Property Boundary Line
- Right-of-Way Line
- Section Line
- Easement Line
- Set Nail & Washer Stamped "Dominion Engineering" (Unless Otherwise Noted)
- Edge of Existing Improvements (As Noted)
- Existing Water Line
- Existing Sewer Line
- Existing Storm Drain Line
- Existing Overhead Electric Line
- Existing Irrigation Line
- Existing Gas Line
- Existing Electric Meter, Box
- Existing Water Meter, Man Hole, Valve, Fire Hydrant
- Existing Storm Drain Man Hole, Catch Basin, Roof Drain
- Existing Sewer Man Hole
- Existing Utility Pole, Light Pole, Guy
- Existing Irrigation Box
- Existing Telephone Box
- Existing Gas Meter
- Existing Sign

UTILITY COMPANIES

Telephone	Qwest	800-603-6000
Power	Rocky Mountain Power	888-221-7070
Natural Gas	Questar Gas	800-323-5517
Sewer	City of Cedar Hills	801-785-9688, ext. 202
Water	City of Cedar Hills	801-785-9688, ext. 202
Storm Drain	City of Cedar Hills	801-785-9688, ext. 202



DRAWN MNG 6/09
DATE
DESIGNED DATE
PROJECT ENGINEER
APPROVED DATE
PROJECT MANAGER

McDONALD'S CORPORATION

CEDAR HILLS, UTAH



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

IN THE NW 1/4 OF SECTION 6, T5S, R2E, SLBM

ALTA/ACSM LAND TITLE SURVEY

PROJECT NO.

1585-01

SHEET NO.

1 of 1

FILE NAME: Cedar Hills

SCALE: 1"=20'

GENERAL NOTES:

- THE CONTRACTOR SHALL BE COMPETENT, KNOWLEDGEABLE AND HAVE SPECIAL SKILLS ON THE NATURE, EXTENT AND INHERENT CONDITIONS OF THE WORK TO BE PERFORMED. CONTRACTOR SHALL ALSO ACKNOWLEDGE THAT THERE ARE CERTAIN PECULIAR AND INHERENT CONDITIONS EXISTENT IN THE CONSTRUCTION OF THE PARTICULAR FACILITIES, WHICH MAY CREATE, DURING THE CONSTRUCTION PROGRAM, UNUSUAL OR REGULAR UNSAFE CONDITIONS HAZARDOUS TO PERSONS, PROPERTY AND THE ENVIRONMENT. CONTRACTOR SHALL BE AWARE OF SUCH PECULIAR RISKS AND HAVE THE SKILL AND EXPERIENCE TO FORSEE AND TO ADOPT PROTECTIVE MEASURES TO ADEQUATELY AND SAFELY PERFORM THE CONSTRUCTION WORK WITH RESPECT TO SUCH HAZARDS.

- IF, DURING THE COURSE OF THEIR EXAMINATION, A BIDDER FINDS FACTS OR CONDITIONS WHICH APPEAR TO THEM TO BE IN CONFLICT WITH THE LETTER OR SPIRIT OF THE PROJECT PLANS AND SPECIFICATIONS, THEY SHALL CONTACT THE ENGINEER FOR ADDITIONAL INFORMATION AND EXPLANATION BEFORE SUBMITTING THEIR BID.

SUBMISSION OF A BID BY THE CONTRACTOR SHALL CONSTITUTE ACKNOWLEDGMENT THAT, IF AWARDED THE CONTRACT, THEY HAVE RELIED AND ARE RELYING ON THEIR OWN EXAMINATION OF (1) THE SITE OF THE WORK, (2) ACCESS TO THE SITE, AND (3) ALL OTHER DATA AND MATTERS REQUISITE TO THE FULFILLMENT OF THE WORK AND ON THEIR OWN KNOWLEDGE OF EXISTING FACILITIES ON AND IN THE VICINITY OF THE SITE OF THE WORK TO BE CONSTRUCTED UNDER THIS CONTRACT.

THE INFORMATION PROVIDED BY THE OWNER OR THE ENGINEER IS NOT INTENDED TO BE A SUBSTITUTE FOR, OR A SUPPLEMENT TO THE INDEPENDENT VERIFICATION BY THE CONTRACTOR TO THE EXTENT SUCH INDEPENDENT INVESTIGATION OF SITE CONDITIONS IS DEEMED NECESSARY OR DESIRABLE BY THE CONTRACTOR. CONTRACTOR SHALL ACKNOWLEDGE THAT THEY HAVE NOT RELIED SOLELY UPON OWNER OR ENGINEER FURNISHED INFORMATION REGARDING SITE CONDITIONS IN PREPARING AND SUBMITTING THEIR BID.

14. THE CONTRACTOR SHALL ASSUME SOLE AND COMPLETE RESPONSIBILITY FOR JOB SITE CONDITIONS DURING THE COURSE OF CONSTRUCTION OF THIS PROJECT, INCLUDING SAFETY OF ALL PERSONS AND PROPERTY; THIS REQUIREMENT SHALL APPLY CONTINUOUSLY AND NOT BE LIMITED TO NORMAL WORKING HOURS: THE CONTRACTOR SHALL DEFEND, INDEMNIFY AND HOLD THE OWNER AND ENGINEER HARMLESS FROM ANY AND ALL LIABILITY, REAL OR ALLEGED, IN CONNECTION WITH THE PERFORMANCE OF WORK ON THIS PROJECT, EXCEPT FOR LIABILITY ARISING FROM THE SOLE NEGLIGENCE OF THE OWNER OR THE ENGINEER.

15. DUST TO BE CONTROLLED 24 HOURS PER DAY, 7 DAYS PER WEEK, AS CONDITIONS DICTATE, WITH A WATER TRUCK.
16. FOR ALL WORK WITHIN PUBLIC RIGHTS-OF-WAY OR EASEMENTS, THE CONTRACTOR SHALL PRESERVE THE INTEGRITY AND LOCATION OF ANY AND ALL PUBLIC UTILITIES AND PROVIDE THE NECESSARY CONSTRUCTION TRAFFIC CONTROL. CONTRACTOR SHALL, THROUGH THE ENCROACHMENT PERMIT PROCESS, VERIFY WITH THE NECESSARY REGULATORY AGENCIES, THE NEED FOR ANY TRAFFIC ROUTING PLAN. IF A PLAN IS REQUIRED, CONTRACTOR SHALL PROVIDE A PLAN AND RECEIVE PROPER APPROVALS PRIOR TO BEGINNING CONSTRUCTION.

17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ADEQUATELY SCHEDULING INSPECTION AND TESTING OF ALL FACILITIES CONSTRUCTED UNDER THIS CONTRACT. ALL TESTING SHALL CONFORM TO THE REGULATORY AGENCY'S STANDARD SPECIFICATIONS. ALL TESTING AND INSPECTION SHALL BE PAID FOR BY THE OWNER; ALL RE-TESTING AND/OR RE-INSPECTION SHALL BE PAID FOR BY THE CONTRACTOR.

18. IF EXISTING IMPROVEMENTS NEED TO BE DISTURBED AND/OR REMOVED FOR THE PROPER PLACEMENT OF IMPROVEMENTS TO BE CONSTRUCTED BY THESE PLANS, THE CONTRACTOR SHALL BE RESPONSIBLE FOR PROTECTING EXISTING IMPROVEMENTS FROM DAMAGE, COST OF REPLACING OR REPAIRING EXISTING IMPROVEMENTS SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ITEMS REQUIRING REMOVAL AND/OR REPLACEMENT OF EXISTING IMPROVEMENTS. THERE WILL BE NO EXTRA COST DUE THE CONTRACTOR FOR REPLACING OR REPAIRING EXISTING IMPROVEMENTS.

19. WHENEVER EXISTING FACILITIES ARE REMOVED, DAMAGED, BROKEN, OR CUT IN THE INSTALLATION OF THE WORK COVERED BY THESE PLANS OR SPECIFICATIONS, SAID FACILITIES SHALL BE REPLACED AT THE CONTRACTOR'S EXPENSE, AFTER PROPER BACKFILLING AND/OR CONSTRUCTION, WITH MATERIALS EQUAL TO OR BETTER THAN THE MATERIALS USED IN THE ORIGINAL EXISTING FACILITIES. THE FINISHED PRODUCT SHALL BE SUBJECT TO THE APPROVAL OF THE OWNER, THE ENGINEER, AND THE RESPECTIVE REGULATORY AGENCY.

20. THE CONTRACTOR SHALL MAINTAIN A NEATLY MARKED SET OF FULL-SIZE AS-BUILT RECORD DRAWINGS SHOWING THE FINAL LOCATION AND LAYOUT OF ALL MECHANICAL, ELECTRICAL AND INSTRUMENTATION EQUIPMENT; PIPING AND CONDUITS; STRUCTURES AND OTHER FACILITIES. THE AS-BUILTS OF THE ELECTRICAL SYSTEM SHALL INCLUDE THE STREET LIGHT LAYOUT PLAN SHOWING LOCATION OF LIGHTS, CONDUITS, CONDUCTORS, POINTS OF CONNECTIONS TO SERVICES, PULLBOXES, AND WIRE SIZES. AS-BUILT RECORD DRAWINGS SHALL REFLECT CHANGE ORDERS, ACCOMMODATIONS, AND ADJUSTMENTS TO ALL IMPROVEMENTS CONSTRUCTED. WHERE NECESSARY, SUPPLEMENTAL DRAWINGS SHALL BE PREPARED AND SUBMITTED BY THE CONTRACTOR.

PRIOR TO ACCEPTANCE OF THE PROJECT, THE CONTRACTOR SHALL DELIVER TO THE ENGINEER, ONE SET OF NEATLY MARKED AS-BUILT RECORD DRAWINGS SHOWING THE INFORMATION REQUIRED ABOVE. AS-BUILT RECORD DRAWINGS SHALL BE REVIEWED AND THE COMPLETE AS-BUILT RECORD DRAWING SET SHALL BE CURRENT WITH ALL CHANGES AND DEVIATIONS REDLINED AS A PRECONDITION TO FINAL PROGRESS PAYMENT APPROVAL AND/OR FINAL ACCEPTANCE.

21. WORK IN EASEMENTS AND/OR RIGHTS-OF-WAY IS SUBJECT TO THE APPROVAL AND ACCEPTANCE OF THE REGULATORY AGENCY RESPONSIBLE FOR OPERATION AND/OR MAINTENANCE OF SAID EASEMENTS AND/OR RIGHTS-OF-WAY.

22. ALL WORK SHALL BE GUARANTEED FOR ONE YEAR FROM DATE OF ACCEPTANCE ON ALL PARTS AND WORKMANSHIP.

CLEARING AND GRADING NOTES:

1. CONTRACTOR SHALL PERFORM EARTHWORK IN ACCORDANCE WITH THE CITY OF CEDAR HILLS STANDARD SPECIFICATIONS.
2. THE EXISTING TOPOGRAPHY SHOWN ON THESE PLANS IS BASED ON TOPO SURVEY PERFORMED BY DOMINION ENGINEERING.
3. CONTRACTOR SHALL TAKE NECESSARY MEASURES TO PREVENT EROSION ONTO ADJACENT PROPERTY AND IN DRAINAGE FACILITIES. CONTRACTOR RESPONSIBLE TO CONTROL DUST AND MUD ON SURROUNDING STREETS.

DEWATERING NOTES:

1. THE CONTRACTOR SHALL FURNISH, INSTALL, OPERATE AND MAINTAIN ALL MACHINERY, APPLIANCES, AND EQUIPMENT TO MAINTAIN ALL EXCAVATIONS FREE FROM WATER DURING CONSTRUCTION. THE CONTRACTOR SHALL DISPOSE OF THE WATER SO AS NOT TO CAUSE DAMAGE TO PUBLIC OR PRIVATE PROPERTY, OR TO CAUSE A NUISANCE OR MENACE TO THE PUBLIC OR VIOLATE THE LAW. THE DEWATERING SYSTEM SHALL BE INSTALLED AND OPERATED SO THAT THE GROUND WATER LEVEL OUTSIDE THE EXCAVATION IS NOT REDUCED TO THE EXTENT WHICH WOULD CAUSE DAMAGE OR ENDANGER ADJACENT STRUCTURES OR PROPERTY. ALL COST FOR DEWATERING SHALL BE INCLUDED IN THE UNIT PRICE BID FOR ALL PIPE CONSTRUCTION. THE STATIC WATER LEVEL SHALL BE DRAWN DOWN A MINIMUM OF 1 FOOT BELOW THE BOTTOM OF EXCAVATIONS TO MAINTAIN THE SYSTEMS OF NATURAL OR ARTIFICIAL DRAINAGE. THE PLACEMENT OF ANY OF THE SPECIFIED DEWATERING EQUIPMENT ON HAND, PUMPING EQUIPMENT AND MACHINERY IN GOOD WORKING CONDITION FOR EMERGENCIES AND SHALL HAVE WORKMEN AVAILABLE FOR ITS OPERATION. DEWATERING SYSTEMS SHALL OPERATE CONTINUOUSLY UNTIL BACKFILL HAS BEEN COMPLETED TO 1 FOOT ABOVE THE NORMAL STATIC GROUNDWATER LEVEL.

UNDERGROUND UTILITIES:

1. THE INFORMATION SHOWN ON THE PLANS WITH REGARD TO THE EXISTING UTILITIES AND/OR IMPROVEMENTS WAS DERIVED FROM FIELD INVESTIGATIONS AND/OR RECORD INFORMATION. THE ENGINEER DOES NOT GUARANTEE THESE LOCATIONS TO BE EITHER TRUE OR EXACT. PRIOR TO CONSTRUCTION, IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO VERIFY ALL EXISTING IMPROVEMENTS AND TO EXPOSE ALL EXISTING UNDERGROUND UTILITIES RELATED TO THE PROJECT, INCLUDING BUT NOT LIMITED TO SEWER, STORM DRAIN, WATER, IRRIGATION, GAS, ELECTRICAL, ETC. AND SHALL NOTIFY THE ENGINEER FORTY-EIGHT (48) HOURS IN ADVANCE OF EXPOSING THE UTILITIES, SO THAT THE EXACT LOCATION AND ELEVATION CAN BE VERIFIED AND DOCUMENTED. THE COST ASSOCIATED TO PERFORM THIS WORK SHALL BE INCLUDED IN EITHER THE LUMP SUM CLEARING COST OR IN THE VARIOUS ITEMS OR WORK. IF LOCATION AND/OR ELEVATION DIFFERS FROM THAT SHOWN ON THE DESIGN PLANS, PROVISIONS TO ACCOMMODATE NEW LOCATION/ELEVATION MUST BE MADE PRIOR TO CONSTRUCTION.

2. PRIOR TO COMMENCING ANY WORK, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO HAVE EACH UTILITY COMPANY LOCATE IN THE FIELD, THEIR MAIN AND SERVICE LINES. THE CONTRACTOR SHALL NOTIFY BLUE STAKES AT 1-800-662-4111 48 HOURS IN ADVANCE OF PERFORMING ANY EXCAVATION WORK. THE CONTRACTOR SHALL RECORD THE BLUE STAKES ORDER NUMBER AND FURNISH ORDER NUMBER TO OWNER AND ENGINEER PRIOR TO ANY EXCAVATION. IT WILL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO DIRECTLY CONTACT ANY OTHER UTILITY COMPANIES THAT ARE NOT MEMBERS OF BLUE STAKES. IT SHALL BE THE CONTRACTOR'S SOLE RESPONSIBILITY TO PROTECT ALL EXISTING UTILITIES SO THAT NO DAMAGE RESULTS TO THEM DURING THE PERFORMANCE OF THIS CONTRACT. ANY REPAIRS NECESSARY TO DAMAGE UTILITIES SHALL BE PAID FOR BY THE CONTRACTOR. THE CONTRACTOR SHALL BE REQUIRED TO COOPERATE WITH OTHER CONTRACTORS AND UTILITY COMPANIES INSTALLING NEW STRUCTURES, UTILITIES AND SERVICE TO THE PROJECT.

3. THE CONTRACTOR SHALL PROVIDE A SHORING, BRACING, SLOPING OR OTHER PROVISIONS NECESSARY TO PROTECT WORKMEN FOR ALL AREAS TO BE EXCAVATED TO A DEPTH OF 4 FEET OR MORE. FOR EXCAVATIONS 4 FEET OR MORE IN DEPTH, THE CONTRACTOR SHALL COMPLY WITH INDUSTRIAL COMMISSION OF UTAH SAFETY ORDERS SECTION 68 - EXCAVATIONS, AND SECTION 69 - TRENCHES ALONG WITH ANY LOCAL CODES OR ORDINANCES. ANY EXCAVATION GREATER THAN 10 FEET IN DEPTH REQUIRES A TRENCH BOX.

4. PRIOR TO OPENING AN EXCAVATION, CONTRACTOR SHALL ENDEAVOR TO DETERMINE WHETHER UNDERGROUND INSTALLATIONS; I.E. SEWER, WATER, FUEL, ELECTRIC LINES, ETC. WILL BE ENCOUNTERED AND IF SO, WHERE SUCH UNDERGROUND INSTALLATIONS ARE LOCATED. WHEN THE EXCAVATION APPROACHES THE APPROXIMATE LOCATION OF SUCH AN INSTALLATION, THE EXACT LOCATION SHALL BE DETERMINED BY CAREFUL PROBING OR HAND DIGGING; AND, WHEN IT IS UNCOVERED, ADEQUATE PROTECTION SHALL BE PROVIDED FOR THE EXISTING INSTALLATION. ALL KNOWN OWNERS OF UNDERGROUND FACILITIES IN THE AREA CONCERNED SHALL BE ADVISED OF PROPOSED WORK AT LEAST 48 HOURS PRIOR TO THE START OF ACTUAL EXCAVATION.

5. IN CASES OF HIGH GROUNDWATER, IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO USE RUBBER GASKET JOINTS ON ALL PRE CAST PIPES. THE COST FOR RUBBER GASKET JOINTS SHALL BE INCLUDED IN THE UNIT PRICES OF PIPE.

6. THE CONTRACTOR SHALL PROVIDE CLAY DAMS IN UTILITY TRENCHES TO PREVENT CHANNELING OF SUBSURFACE WATER, DURING AND AFTER CONSTRUCTION. CONSTRUCT CLAY DAMS AT THE TOP OF GRADE BREAKS AND AT THE FOLLOWING INTERVALS:

- TRENCHES WITH SLOPES $\geq 10\%$ = DAMS AT 100' INTERVALS

7. IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO INSTALL PIPE OF ADEQUATE CLASSIFICATION WITH SUFFICIENT BEDDING TO MEET ALL REQUIREMENTS AND RECOMMENDATIONS OF THE CITY OF CEDAR HILLS FOR H-20 LOAD REQUIREMENTS.

8. ALL UNDERGROUND UTILITIES SHALL BE IN PLACE PRIOR TO INSTALLATION OF CURB, GUTTER AND STREET PAVING.

GENERAL EROSION CONTROL NOTES

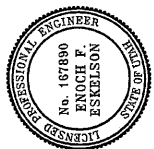
1. PRE CONSTRUCTION MEETING IS REQUIRED WITH THE CITY PRIOR TO DISTURBANCE.
2. IN THE EVENT A CHANGE OCCURS ON THIS APPROVED SITE PLAN WHICH INVOLVES ENLARGING THE AREA OF DISTURBANCE, THE CONTRACTOR SHALL CONTACT THE CITY OF CEDAR HILLS EROSION CONTROL INSPECTOR PRIOR TO THE DISTURBANCE.
3. THE CONTRACTOR WILL FILL OUT "EROSION AND SEDIMENT CONTROL PLAN" INSPECTION AND MAINTENANCE FORM EVERY SEVEN DAYS AND WITHIN 24 HOURS OF A RAINFALL EVENT AND/OR A HEAVY SNOW MELT. PROVIDE COPIES OF MAINTENANCE FORM TO CITY OF CEDAR HILLS EROSION CONTROL INSPECTOR AND OWNER AT WEEKLY CONSTRUCTION MEETINGS.
4. THE CONTRACTOR WILL COMPLY WITH THE INSTALLATION AND MAINTENANCE OF THE "BEST MANAGEMENT PRACTICE" (BMP) USED ON THE EROSION AND SEDIMENT CONTROL PLANS UNTIL THE REVEGETATION BOND HAS BEEN 100% RELEASED.
5. THE CONTRACTOR SHALL OBTAIN THE UTAH POLLUTION DISCHARGE ELIMINATION SYSTEM (UPDES) PERMIT FOR STORM WATER DISCHARGE ASSOCIATED WITH CONSTRUCTION ACTIVITY AND PROVIDE EVIDENCE TO THE CITY AT THE PRE CONSTRUCTION MEETING.
6. THE CONTRACTOR WILL MAINTAIN STREETS TO BE FREE FROM SOIL AND DEBRIS 24 HOURS PER DAY, SEVEN DAYS A WEEK.
7. THE CONTRACTOR WILL MAINTAIN THE EROSION CONTROL DEVICES UNTIL THE GROUND COVER HAS BEEN ESTABLISHED.
8. DUST CONTROL MEASURES WILL BE ON SITE AND IN WORKING ORDER WHEN SOIL IS DISTURBED. DUST CONTROL WILL BE USED 24 HOURS, SEVEN DAYS PER WEEK AS CONDITIONS DICTATE. THE CONTRACTOR WILL INCREASE EQUIPMENT AS NEEDED TO CONTROL DUST.
9. THE CONTRACTOR WILL PREVENT SEDIMENTS FROM ENTERING UTILITIES BY INSTALLING FILTER FABRIC AROUND STRUCTURES.
10. VEGETATION WILL BE DISPOSED OF IN ONE OR MORE OF THE FOLLOWING WAYS:

- HAULING TO APPROVED LAND FILL
SHREDDING
CHIPPING
BURNING WITH APPROVED PERMIT
- BRUSH MAY BE STOCKPILED AT TOES OF FILLS FOR TEMPORARY EROSION CONTROL.

11. REMOVE NATIVE TREES WITHIN AREAS OF DISTURBANCE ONLY.

12. ALL EXCAVATED MATERIAL MUST BE KEPT WITHIN THE "LIMITS OF MASS GRADING DISTURBANCE".

13. PLACE GEOTEXTILE STYLE SILT FENCES PRIOR TO ANY EXCAVATIONS INDICATED BY THE EROSION CONTROL DRAWINGS. THE EROSION/SEDIMENTATION CONTROL (E.S.C.) MEASURES SHOWN ARE THE MINIMUM REQUIREMENTS FOR THE ANTICIPATED

[illegible]

McDONALD'S CORPORATION

EXECUTIVE OFFICE OAK BROOK, ILLINOIS 60051

THESE DRAWINGS AND SPECIFICATIONS ARE THE CONFIDENTIAL AND PROPRIETARY PROPERTY OF McDONALD'S CORPORATION AND THAT DOCUMENTS ARE TO BE PREPARED FOR USE ON THIS SPECIFIC SITE IN CONJUNCTION WITH THE ISSUE DATE OF THESE DRAWINGS FOR THE PROJECT IDENTIFIED HEREIN. ANY REUSE OF THESE DRAWINGS FOR REDRAWN OR FOR ANOTHER PROJECT REQUIRES THE SERVICES OF PROFESSIONAL ENGINEERS AND ARCHITECTS WHO ARE NOT AUTHORIZED TO REUSE OR REPRODUCE ANY OF THE INFORMATION OR PROJECT IS NOT AUTHORIZED.

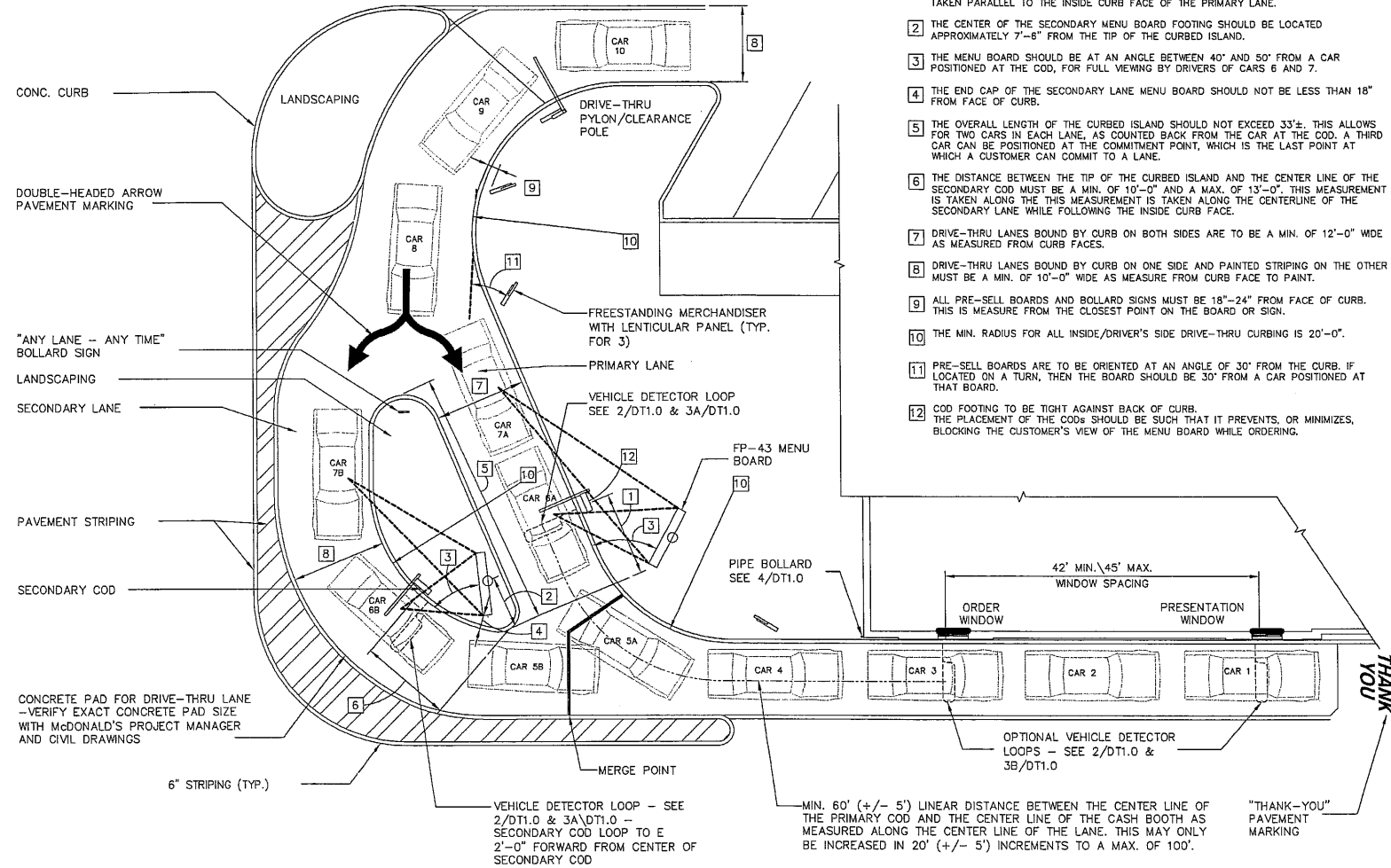
SITE ADDRESS

TITLE	DATE ISSUED
GENERAL NOTES	DATE ISSUED
DESCRIPTION	DATE ISSUED
GENERAL NOTES	DATE ISSUED

SHEET NO. **C-1**



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



LEGEND

- 1 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE PRIMARY COD MUST BE A MIN. OF 10'-0" AND A MAX. OF 15'-0". THIS MEASUREMENT IS TAKEN PARALLEL TO THE INSIDE CURB FACE OF THE PRIMARY LANE.
- 2 THE CENTER OF THE SECONDARY MENU BOARD FOOTING SHOULD BE LOCATED APPROXIMATELY 7'-6" FROM THE TIP OF THE CURBED ISLAND.
- 3 THE MENU BOARD SHOULD BE AT AN ANGLE BETWEEN 40° AND 50° FROM A CAR POSITIONED AT THE COD, FOR FULL VIEWING BY DRIVERS OF CARS 6 AND 7.
- 4 THE END CAP OF THE SECONDARY LANE MENU BOARD SHOULD NOT BE LESS THAN 18" FROM FACE OF CURB.
- 5 THE OVERALL LENGTH OF THE CURBED ISLAND SHOULD NOT EXCEED 33'±. THIS ALLOWS FOR TWO CARS IN EACH LANE, AS COUNTED BACK FROM THE CAR AT THE COD. A THIRD CAR CAN BE POSITIONED AT THE COMMITMENT POINT, WHICH IS THE LAST POINT AT WHICH A CUSTOMER CAN COMMIT TO A LANE.
- 6 THE DISTANCE BETWEEN THE TIP OF THE CURBED ISLAND AND THE CENTER LINE OF THE SECONDARY COD MUST BE A MIN. OF 10'-0" AND A MAX. OF 13'-0". THIS MEASUREMENT IS TAKEN ALONG THE INSIDE CURB FACE OF THE SECONDARY LANE WHILE FOLLOWING THE INSIDE CURB FACE.
- 7 DRIVE-THRU LANES BOUND BY CURB ON BOTH SIDES ARE TO BE A MIN. OF 12'-0" WIDE AS MEASURED FROM CURB FACES.
- 8 DRIVE-THRU LANES BOUND BY CURB ON ONE SIDE AND PAINTED STRIPING ON THE OTHER MUST BE A MIN. OF 10'-0" WIDE AS MEASURED FROM CURB FACE TO PAINT.
- 9 ALL PRE-SELL BOARDS AND BOLLARD SIGNS MUST BE 18"-24" FROM FACE OF CURB. THIS IS MEASURED FROM THE CLOSEST POINT ON THE BOARD OR SIGN.
- 10 THE MIN. RADIUS FOR ALL INSIDE/DRIVER'S SIDE DRIVE-THRU CURBING IS 20'-0".
- 11 PRE-SELL BOARDS ARE TO BE ORIENTED AT AN ANGLE OF 30° FROM THE CURB. IF LOCATED ON A TURN, THEN THE BOARD SHOULD BE 30° FROM A CAR POSITIONED AT THAT BOARD.
- 12 COD FOOTING TO BE TIGHT AGAINST BACK OF CURB. THE PLACEMENT OF THE CODs SHOULD BE SUCH THAT IT PREVENTS, OR MINIMIZES, BLOCKING THE CUSTOMER'S VIEW OF THE MENU BOARD WHILE ORDERING.

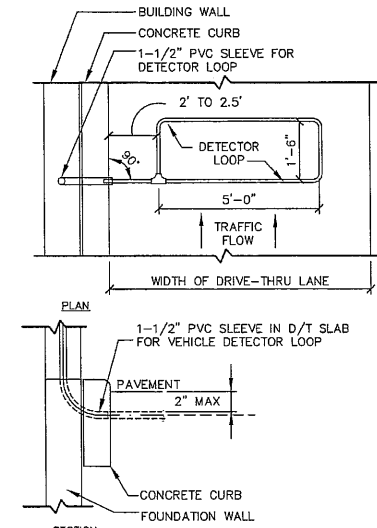
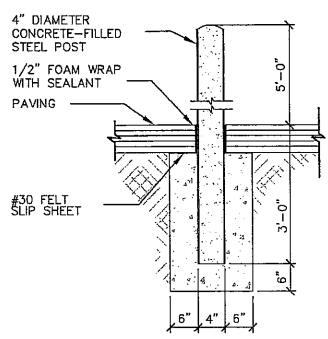
GENERAL NOTES

1. **SIGNAGE & DRIVE-THRU ELEMENTS:**
COD, DRIVE-THRU PYLON/CLEARANCE POLE, BOLLARD SIGN, AND FREESTANDING MERCHANDIZER SHALL BE CONSISTENT WITH THE 2006 STANDARD BUILDING DESIGN DRIVE-THRU ELEMENTS AS DEVELOPED BY IMAGEPOINT. OTHER DESIGNS MAY NOT BE USED.
2. GENERAL CONTRACTOR SHALL COORDINATE WITH CIVIL PLANS, McDONALD'S PROJECT MANAGER, AND SIGNAGE SUPPLIER TO DETERMINE EXACT LOCATION, ORIENTATION, MOUNTING HEIGHTS, AND NUMBER OF SIGNS AND OTHER DRIVE-THRU ELEMENTS TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH THE OTHER TRADES.
3. CONTACT IMAGE POINT (800.444.7446) OR McDONALD'S PROJECT MANAGER FOR SIGNAGE & DRIVE-THRU ELEMENT FOOTING AND WIRING REQUIREMENTS. IMAGEPOINT TO PROVIDE FOOTING ANCHORS & TEMPLATES TO G.C. PRIOR TO FOUNDATION POURING.
4. SEE DETAIL 2/DT1.0 AND ELECTRICAL SHEETS FOR SITE WIRING INFORMATION.
5. GENERAL CONTRACTOR TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
6. GENERAL CONTRACTOR TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
7. GENERAL CONTRACTOR SHALL VERIFY CONDUIT SIZES REQUIRED BY VEHICLE LOOP DETECTOR SUPPLIER.

REFERENCE SHEET ONLY

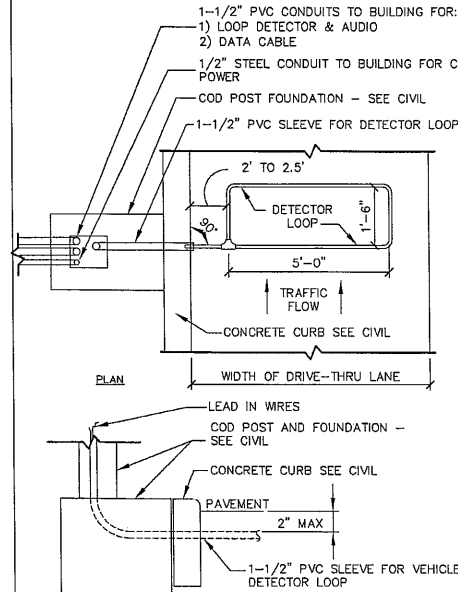
THE LAYOUT OF THE DRIVE-THRU LANES SHOWN IN THIS DETAIL ILLUSTRATES DRIVE-THRU DESIGN PRINCIPLES ONLY. FOR ACTUAL LAYOUT DERIVED FROM THESE PRINCIPLES, SEE SHEET SD-1.

1 DRIVE THRU LAYOUT GUIDELINES
DT1.0 1" = 10'-0"



NOTE:
DETECTOR LOOPS AT PRESENTATION AND ORDER WINDOWS ARE OPTIONAL. GC TO INSTALL PVC SLEEVES TO FACILITATE POSSIBLE FUTURE LOOP INSTALLATION.

B - DT WINDOW DETECTOR LOOP

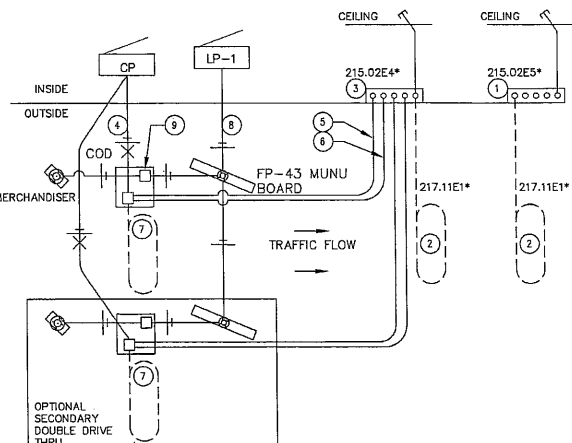


A - C.O.D. DETECTOR LOOP

NOTES

3 DETECTOR LOOP DETAILS
DT1.0 NOT TO SCALE

1. VERIFY CONDUIT SIZES AND LAYOUT WITH DETECTOR LOOP MANUFACTURER.
2. CENTER VEHICLE DETECTOR LOOP (ITEM # 217.11E1) IN DRIVE THRU LANE. INSTALL PER MFR. RECOMMENDATIONS.
3. SEE CIVIL FOR DIMENSIONS OF DRIVE-THRU LANE CONCRETE PAD FOR DETECTOR LOOP.
4. NO STEEL (REBAR OR ELECTRICAL WIRE) SHALL BE USED WITHIN 2' OF LOOP.
5. DETECTOR LOOP MANUFACTURERS:
DETECTOR LOOPS MAY BE BY ONE OF THE FOLLOWINGS COMPANIES OR EQUAL.
JM: 1-800-328-0033
HME: 1-800-848-6668
6. DETECTOR LOOP MATERIAL:
PVC TUBING 1/2" I.D., 100 PSI LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED AT FACTORY.
7. DETECTOR LOOP CONSTRUCTION:
FORMED WITH ONE CONTINUOUS LENGTH OF PVC WITH NO SHARP CORNERS AS DETAILED. WIRE LOOPED, FORMED, & PIGTAILED AS DETAILED.



2 DRIVE THRU SITE WIRING
DT1.0 (COD AND SPEAKER POST)

KEY NOTES

- 1 ELECTRICAL EQUIPMENT ITEM #215.02E5* IN PRESENTATION BOOTH. PROVIDE 2" HOLE & GROMMET IN JUNCTION BOX COVER PLATE FOR POS DATA CABLES. PROVIDE 2 1/2" ABOVE CEILING.
- 2 OPTIONAL DRIVE-THRU WINDOW DETECTOR LOOP FOR ORDER & PRESENTATION WINDOWS - SEE 3B/DT1.0. GC TO INSTALL PVC SLEEVES TO FACILITATE POSSIBLE FUTURE LOOP INSTALLATION.
- 3 ELECTRICAL EQUIPMENT ITEM #215.02E4 IN ORDER/CASH BOOTH. PROVIDE 2" HOLE & GROMMET IN JUNCTION BOX COVER PLATE FOR POS DATA CABLES. PROVIDE 2 1/2" ABOVE CEILING.
- 4 PROVIDE STEEL CONDUIT AND CONDUCTOR PER POS & COD ISOLATED GROUND/DEDICATED CIRCUIT DETAIL. 1/2" C-2#12 & 1#12 GROUND & 1 #12 ISOLATED GROUND. PROVIDE 1 CB PER COD.
- 5 1-1/2" PVC CONDUIT FOR REMOTE LOOP DETECTOR & COD AUDIO CABLES. EC TO PROVIDE 3 FULL STRINGS INSIDE CONDUIT.
- 6 1-1/2" C FOR COD DATA CABLES. EC TO PROVIDE 3 FULL STRINGS INSIDE CONDUIT.
- 7 2-1/2" C FOR COD LOOP DETECTOR, ELECTRICAL EQUIPMENT ITEM 217.11E1* - SEE 3A/DT1.0.
- 8 1/2" C-2#12, POWER FOR MENU BOARD ILLUMINATION.
- 9 "ORDER HERE" CANOPY LIGHTS.

* SEE ELECTRICAL EQUIPMENT SCHEDULE FOR NOTES ON NUMBERED ELECTRICAL EQUIPMENT.



PREPARED BY: M. McDonald's USA, LLC
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TITLE			
DRIVE-THRU DETAILS (REFERENCE ONLY)			
SHEET NO.			
DT1.0			
DESCRIPTION			
DRIVE-THRU MENU BOARDS, C.O.D.'S, ETC. LOCATION PLAN			
SITE ADDRESS			
4800 WEST ST. & WEST CEDAR HILLS DRIVE, CEDAR HILLS, UTAH			
CODE			
REV			
DATE			
DESCRIPTION			
BY			

Job # 1575 P:\McDonalds\Utah Cedar Hills\SP-2 Site Improvement Plan.dwg 12/7/09 PLOT SCALE: 1"=20'

SITE PLAN NOTES SCHEDULE

- McDONALD'S BUILDING (SERIES 6487-WW)
SEE ARCHITECTURAL DRAWINGS
- TRASH ENCLOSURE, SEE DETAILS, SHEET SD-4
- NEW ELECTRICAL TRANSFORMER & POWER UNIT BOX
(BY ROCKY MOUNTAIN POWER - APPROX. LOCATION)
- MAIN MENU BOARD, SEE DETAILS, SHEETS SD-2 & SD-3
- CUSTOMER ORDER DISPLAY "COD" BOX, SEE DETAIL SHEET SD-3
- LOOP DETECTOR, SEE DETAILS, SHEET SD-3
- OPTIONAL PRE-SELL BOARD, SEE DETAILS, SHEETS SD-2 & SD-3
- "GATEWAY"/HEIGHT DETECTOR SIGN, SEE DETAILS, SHEETS SD-2
- BOLLARD SIGN "ANY LANE/ANY TIME"
- BOLLARD SIGN "PLEASE HAVE ORDER READY"
- BOLLARD SIGN "PLEASE HAVE PAYMENT READY"
- 4" PIPE BOLLARDS, SEE DETAIL, SHEET SD-2
- GUARDRAIL, MATERIAL BY McDONALD'S, INSTALLED BY G.C.
- INTERGRAL CONCRETE CURB & GUTTER, SEE DETAIL 2, SHT. SD-5
- 24" CURB AND GUTTER, SEE DETAIL 1, SHEET SD-5
SEE SHEET SP-4 FOR SPILL GUTTER LOCATIONS
- 4" THICK CONCRETE WALK/HANDICAP RAMP AREAS (WIDTH VARIES, SEE PLAN)
- 4" THICK STAMPED CONCRETE WALK/SLAB (WIDTH VARIES, SEE PLAN)
- MINIMUM 6" CONCRETE SLAB, REINF. WITH FIBERMESH
(WIDTH VARIES, SEE PLAN)
- MINIMUM 6" STAMPED CONCRETE SLAB, REINF. WITH FIBERMESH REINF.
(WIDTH VARIES, SEE PLAN)
- 2' CHAMFER AT CORNERS OF CONCRETE (TYPICAL)
- HANDICAP ACCESS SIGN PER ADA STANDARDS
- HANDICAP SIGN, TOP OF SIGN @ 5' ABOVE SIDEWALK (TYP.)
- HANDICAP SYMBOL, PAINTED PER ADA STANDARDS
- HANDICAP ACCESS STRIPING, PAINTED PER ADA STANDARDS
- 4" WIDE PARKING LINES PAINTED WHITE (TYPICAL)
- 4" WIDE @ 45° ANGLE @ 2' O.C. NO PARKING/DRIVING LINES
PAINTED (WHITE)
- PAINTED GRAPHICS PER McDONALD'S STANDARDS
& SPECIFICATIONS
- DIRECTIONAL SIGN - SEE SIGNAGE DRAWING
- HOSE BIBB (FREEZE PROOF) WITH BACKFLOW PREVENTOR
- 1" PVC CONDUIT FOR FUTURE POWER (IF NEEDED)
- NEW EXTERNAL GAS METER AND PRESSURE REGULATOR
- 1/2" EXPANSION JOINT W/BACKER ROD & SEALANT
(TYPICAL BETWEEN BLDG. FOUNDATION AND BLDG. WALK)
- CONCRETE DELIVERY RAMP
- HANDICAP RAMP PER A.D.A. STANDARDS & SPECS.
- ASPHALT PAVING (TYP.), SEE SECTION, SHEET SD-5
- OUTDOOR LOT LIGHT, SEE SHEET LTG-1
- STORMDRAIN CURB INLET BOX, SEE SHT. SP-4
- STORMDRAIN MANHOLE, SEE SHT. SP-4
- RELOCATED EXISTING 1-1/2" WATER METER & VAULT, SEE SHT. SP-3
- 1,500 GAL. GREASE INTERCEPTOR, SEE SHT. SP-3
- SAMPLING MANHOLE (SEWER), SEE SHT. SP-3
- CLEANOUT (SEWER), SEE SHT. SP-3
- EXISTING SEWER LINE & MANHOLE, USE IN PLACE
- EXISTING 8" WATER LATERAL & GAS LATERAL, USE IN PLACE
- RELOCATED (EXISTING) FIRE HYDRANT ASSEMBLY

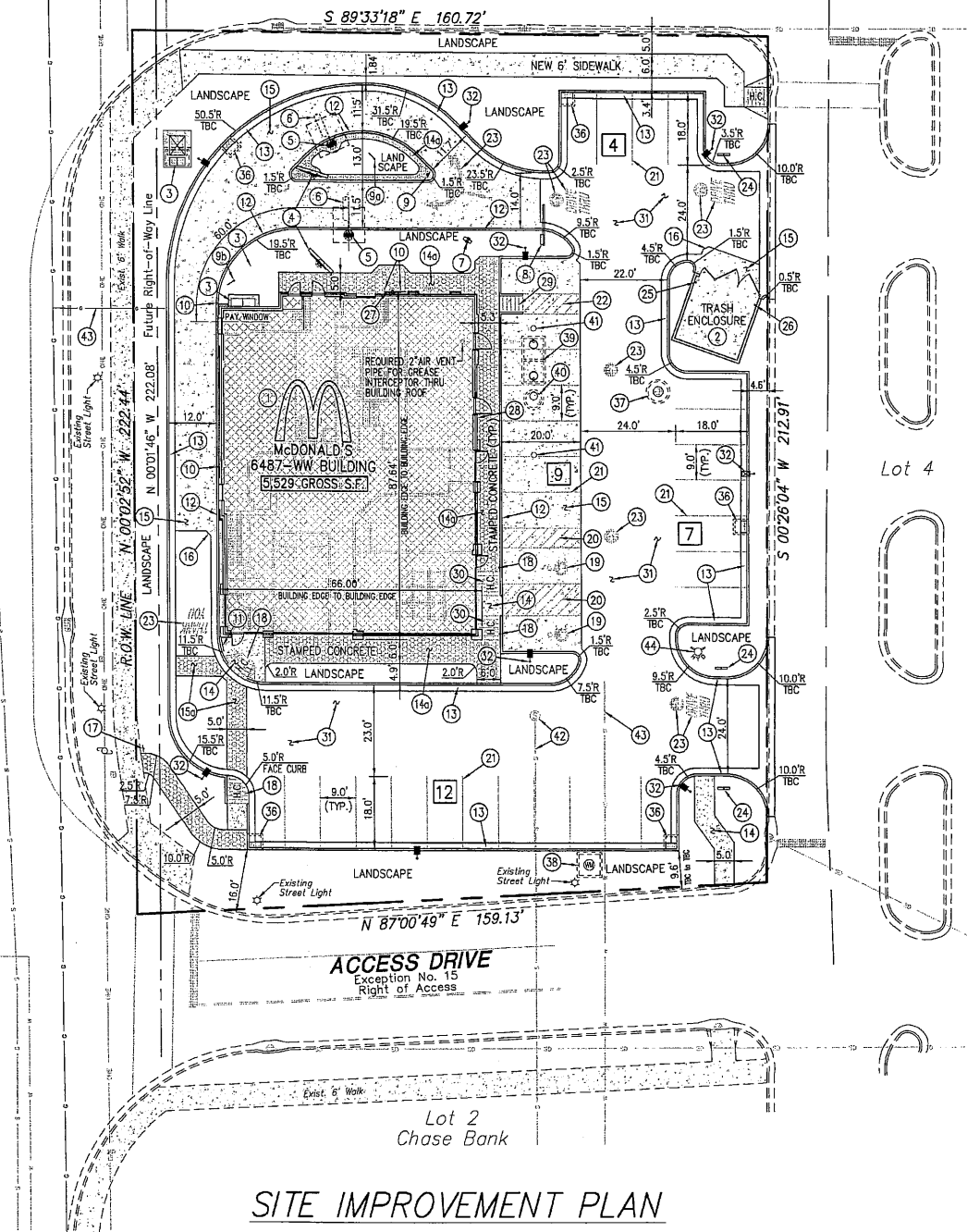
PROJECT DATA CHART - McDONALD'S SITE

-QUANTITIES FOR McDONALD'S COST ESTIMATES ONLY-

CEDAR HILLS ZONING	SC-1 COMMERCIAL SHOPPING CENTER ZONE
TOTAL GROSS ACREAGE	0.80 AC. (34,784 Sq. Ft.)
TOTAL BUILDING AREA - GROSS	5,529 Sq. Ft.*
NUMBER OF PARKING SPACES	32
TOTAL ASPHALT SURFACE	10,633 SQ. FT.*
TOTAL 6" THICK CONCRETE SLAB (REINF.)	5,171 SQ. FT.*
TOTAL 6" THICK STAMPED CONC. SLAB (REINF.)	172 SQ. FT.*
TOTAL 4" THICK CONCRETE SLAB	1,267 SQ. FT.*
TOTAL 4" THICK STAMPED CONCRETE SLAB	1,433 SQ. FT.*
TOTAL STAMPED CONCRETE (COUNTED AS LANDSCAPE)	1,605 Sq. Ft.
TOTAL 24" CONCRETE CURB & GUTTER	853 LIN. FT.*
TOTAL 6" HIGH CONCRETE CURB WALL	388 LIN. FT.*
TOTAL LANDSCAPING (INSIDE PROP. BOUNDARY)	8,208 Sq. Ft.*
TOTAL LANDSCAPING (OUTSIDE PROP. BOUNDARY)	1,857 Sq. Ft.*
TOTAL LANDSCAPING + STAMPED CONCRETE	11,668 Sq. Ft.*
TOTAL PERCENTAGE OF LANDSCAPING	33.5%

*QUANTITIES NEEDED TO COMPLETE CONSTRUCTION ON TOTAL SITE

4800 WEST STREET



UTILITY CONTACTS			
WATER	CEDAR HILLS PUBLIC WORKS DEPT.	801-785-9668, EXT. 202	
SEWER	CEDAR HILLS PUBLIC WORKS DEPT.	801-785-9668, EXT. 202	
	CEDAR HILLS PUBLIC WORKS DEPT. TIMPANOUS SPECIAL SERVICE DISTRICT	801-755-5231	
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070	
GAS	QUESTAR GAS	1-800-323-5517	
TELEPHONE	QWEST	1-800-244-1111	

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPREHEND ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.



Dominion Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000



GENERAL NOTES

- ALL WORK PERFORMED WITHIN THE CITY OF CEDAR HILLS RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
- BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL SIGNS ARE BY THE GENERAL CONTRACTOR. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. FLAGPOLE ANCHOR BOLTS ARE BY McDONALD'S. ALL SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CEDAR HILLS CODE.
- GENERAL CONTRACTOR TO PROVIDE CONCRETE BASES, CONDUIT & WIRE AS REQUIRED FOR LOT LIGHTS SHOWN. McDONALD'S TO PROVIDE ONLY ANCHOR BOLTS, POLES AND LOT LIGHT FIXTURES. REMAINDER BY GENERAL CONTRACTOR.
- ALL RADII ARE TO THE TOP BACK OF CURB (TBC) UNLESS OTHERWISE NOTED. VERIFY IN FIELD (V.I.F.) ALL DIMENSIONS. RESOLVE ANY DISCREPANCIES WITH McDONALD'S PROJECT MANAGER PRIOR TO COMMENCING WORK.
- PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
- THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. GENERAL CONTRACTOR RESPONSIBLE TO OBTAIN ALL REQUIREMENTS OF UTILITY COMPANIES AND INCLUDE IN BASE BID ALL ASSOCIATED COSTS.
- ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK. FINISH FLOOR ELEVATION IS AS NOTED ON GRADING AND DRAINAGE PLAN.
- GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICAN'S WITH DISABILITIES ACT" (ADA).
- ALL 6" CONCRETE VERTICAL CURB SHALL BE POURED MONOLITHICALLY WITH CONCRETE PAVEMENT. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS NOTED OTHERWISE.
- GENERAL CONTRACTOR TO PLACE CONCRETE CONSTRUCTION JOINTS AS NEEDED WITH MAXIMUM AREA OF 400 S.F. (CAREY FELT SHALL NOT BE USED).
- GENERAL CONTRACTOR TO PROVIDE SAWCUT JOINTS IN CONC. PAVEMENT IN ACCORDANCE WITH ACI STANDARDS. JOINTS SHALL BE PLACED SUCH THAT THE MAXIMUM SIZE OF CONCRETE SLAB IS 120 S.F. AND THE RATIO OF THE SIDES IS NO MORE THAN 2:1.
- COORDINATE ALL DRIVE-UP STRIPING AND MARKINGS WITH McDONALD'S PROJECT MANAGER.
- CONTRACTOR TO FIELD VERIFY LOCATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER.
- ALL CONSTRUCTION SHALL COMPLY WITH CITY OF CEDAR HILLS WATER COMPANY CULINARY WATER AND/OR SANITARY SEWER SYSTEM EXTENSION AGREEMENT WITH SPECIFICATIONS, DOCUMENTATION, TYPICAL DETAILS AND FORMS.
- LOT LIGHTING CONC. FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE, OR AS DIRECTED BY McDONALD'S.
- ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

PAVING SPECIFICATION FOR McDONALD'S SITE

ASPHALT:

COMPACTION: 3" A.C. (2 LIFTS) 95% MARSHALL
6" BASE COURSE 95% PROCTOR
12" REWORKED EXISTING GRANULAR FILL
OIL CONTENT: 4.5% - 5.0%
STABILITY: 100 LBS. MIN.
GRADATION EXTRACTION: 55% MAX. SHALL PASS U.S. STD. #4 SIEVE.

CONCRETE:

COMPACTION: 6" CONCRETE
6" BASE COURSE 95% PROCTOR
12" REWORKED EXISTING GRANULAR FILL

NOTES:

- McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S. OTHERWISE, G.C. WILL BE CHARGED.
- SEE SOILS REPORT BY INTERMOUNTAIN GeoENVIRONMENTAL SERVICES INC.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING SYSTEMS
3477 WEST TOWHY AVENUE
LINCOLNWOOD, IL 60645
1-800-544-4848
ASB1000-MH-DB-MT WITH
1000 WATT METAL HALIDE LAMP

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION (EXISTING)

TOTAL SPACES	- H.C.	SPACES 9'-0" X 18'-6" @ 60'
NA	-	SPACES 9'-0" X 18'-0" @ 60'
	-	SPACES 9'-0" X 18'-0" @ 90'

PARKING INFORMATION (PROPOSED)

TOTAL SPACES	2 H.C.	SPACES 9'-0" X 20'-0" @ 90'
32	7	SPACES 9'-0" X 20'-0" @ 90'
	23	SPACES 9'-0" X 18'-0" @ 90'

SURVEY INFORMATION

PREPARED BY: DOMINION ENGINEERING
5684 SOUTH GREEN STREET
MURRAY, UTAH 84123
801-713-3000
DATE: JULY, 2009

LEGEND

EXIST. TELEPHONE	EXIST. UNDERGROUND POWER
EXIST. GAS LINE	EXIST. WATER VALVE
EXIST. WATER	EXIST. FIRE HYDRANT
EXIST. IRRIGATION PIPE	
EXIST. OVERHEAD POWER	# PARKING STALLS

PLAN SCALE: 1" = 20'

STREET ADDRESS
LOT 1 - CEDAR HILLS RETAIL SUBDIVISION
4800 WEST STREET & WEST CEDAR HILLS DRIVE

CITY	STATE
CEDAR HILLS	UTAH
COUNTY	
UTAH	

REGIONAL DWG. NO. CORPORATE DWG. NO.

BY	ISSUE REF	DESCRIPTION	DATE	REV
RAJ		REVISIONS PER CEDAR HILLS CITY REVIEW & COMMENTS	11/3/09	1
RAJ		REVISIONS PER ROCKY MOUNTAIN POWER REVIEW & COMMENTS	11/6/09	2
RAJ		REVISIONS PER CEDAR HILLS CITY REVIEW & COMMENTS	12/2/09	3

McDonald's

THESE PLANS AND SPECIFICATIONS ARE THE PROPERTY OF McDONALD'S CORPORATION AND SHALL NOT BE REPRODUCED WITHOUT THEIR WRITTEN PERMISSION.

OFFICE: DENVER REGION
ADDRESS: 5251 DTC PARKWAY, SUITE 300, GREENWOOD VILLAGE, COLORADO 80111

PLAN APPROVALS	CO-SIGN SIGNATURES	STATUS	DATE	BY
SIGNATURE (2 REQUIRED)	REGIONAL MGR. CONST. MGR. OPERATIONS DEPT. REAL ESTATE DEPT.	PRELIMINARY		
		PLAN CHECKED		
		AS-BUILT		

SP-2

UTILITY NOTES SCHEDULE

1. INSTALL 14.4± L.F. OF 4" PVC SEWER LATERAL AT MIN. 2.0% SLOPE (BLDG. TO SEWER CLEANOUT)
2. INSTALL SEWER CLEANOUT PER CEDAR HILLS PUBLIC WORKS DEPT. STANDARDS & SPECIFICATIONS
RIM ELEV. = 4882.33±, INV. EL. = 4878.24±
3. INSTALL 2.0± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE (SEWER CLEANOUT TO GREASE INTERCEPTOR)
4. NEW 1,500 GAL. GREASE INTERCEPTOR PER TAMPANOGUS SPECIAL SERVICE DISTRICT STANDARDS & SPECIFICATIONS, SEE DETAIL SHT. SD-6a
CONTRACTOR TO FIELD VERIFY EXACT LOCATION AND INVERT ELEVATIONS OF EXISTING SEWER MANHOLE & LATERAL FROM THE SOUTH BEFORE NEW SEWER LATERALS TO McDONALD'S ARE INSTALLED
SOUTH RIM ELEV. = 4882.33±, NORTH RIM ELEV. = 4882.33±
BOTTOM FLOOR BOX = 4874.35±
INV. (N)=4878.20±, INV. (OUT) = 4877.78±
5. INSTALL 2.5± L.F. OF 4" PVC SEWER LATERAL AT S=2.0% (GREASE INTERCEPTOR TO SAMPLING MANHOLE)
6. INSTALL SAMPLING MANHOLE PER TAMPANOGUS SPECIAL SERVICE DISTRICT STANDARDS & SPECIFICATIONS, SEE DETAIL SHT. SD-6a
RIM ELEV. = 4882.33±, INV. (IN)= 4877.73±, INV. (OUT)= 4877.53±
7. INSTALL 11.3± L.F. OF 4" PVC SEWER LATERAL AT 2.0% SLOPE (GREASE INTERCEPTOR TO SEWER CLEANOUT)
8. INSTALL 15.8± L.F. OF 4" PVC SEWER LATERAL AT MIN. 2.0% SLOPE (SAMPLING M.H. TO SEWER CLEANOUT)
9. INSTALL SEWER CLEANOUT PER CEDAR HILLS PUBLIC WORKS DEPT. STANDARDS & SPECIFICATIONS
LID ELEV. = 4882.33±, INV. EL. = 4873.3±
10. INSTALL 63.5± L.F. OF 6" PVC SEWER LATERAL AT 6.6% SLOPE (SEWER CLEANOUT TO EXISTING SEWER MANHOLE)
11. EXISTING SEWER MANHOLE, CONNECT NEW 6" PVC SEWER LATERAL PER CEDAR HILLS PUBLIC WORKS DEPT. STANDARDS & SPECIFICATIONS
EXIST. LID ELEV. = 4881.9, EXIST. INV. EL. = 4872.6
NEW LID ELEV. = 4882.1±, INV. EL. (OUT)= 4873.1
12. INSTALL 200± L.F. OF 1-1/2" TYPE "K" COPPER WATERLINE & ALL NECESSARY ANGLES, CONNECT TO NEW 1-1/2" WATER METER (BLDG. TO NEW WATER METER VAULT)
MIN. 10.0' HORIZONTAL DISTANCE FROM NEW SEWER LATERAL
CONTRACTOR TO FIELD VERIFY EXACT LOCATION, TYPE AND SIZE OF EXISTING FEATURES BEFORE INSTALLING AND CONNECTING NEW WATERLINES TO INSURE ADEQUATE WATER FLOW TO BUILDING, CONNECTION PER CEDAR HILLS PUBLIC WORKS DEPT. CONSTRUCTION STANDARDS & SPECS.
13. INSTALL NEW 1-1/2" WATER METER AND VAULT BOX PER CEDAR HILLS PUBLIC WORKS DEPT. STANDARDS & SPECS. SEE DETAIL SHT. SD-6b
14. INSTALL 2" STUBOUT FOR IRRIGATION LINE CONNECTION SEE SHEET LS-1
15. CONNECT NEW 1-1/2" COPPER WATERLINE TO EXISTING WATER MAIN PER CEDAR HILLS PUBLIC WORKS DEPARTMENT CONSTRUCTION STANDARDS & SPECIFICATIONS
REMOVE EXISTING CULINARY WATER LATERAL AND PLUG EXIST. WATER LINE PER CEDAR HILLS PUBLIC WORKS DEPARTMENT CONSTRUCTION STANDARDS & SPECIFICATIONS
SEE NOTE ABOVE FOR SAWCUT, REMOVAL & REPLACEMENT OF CURB & GUTTER, ASPHALT, ETC.
16. CONNECT NEW 6" FIRE LINE TO EXISTING FIRE LINE, RELOCATE EXISTING VALVE & HYDRANT, CONTRACTOR TO FIELD VERIFY EXACT LOCATION, TYPE AND SIZE OF EXISTING FEATURES BEFORE INSTALLING AND CONNECTING NEW FIRE LINE TO INSURE ADEQUATE WATER FLOW TO NEW BUILDING, CONNECTION PER CEDAR HILLS PUBLIC WORKS DEPARTMENT CONSTRUCTION STANDARDS & SPECIFICATIONS
17. INSTALL 183± L.F. OF 8" PVC (C-900) WATERLINE FOR FIRE PROTECTION PER CEDAR HILLS PUBLIC WORKS DEPARTMENT STANDARDS & SPECIFICATIONS
18. INSTALL 6"x 6"x 6" TEE SECTION AND 21± L.F. OF 6" PVC (C-900) WATERLINE PER CEDAR HILLS PUBLIC WORKS DEPT. STANDARDS & SPECIFICATIONS
19. INSTALL (RELOCATE) EXISTING FIRE HYDRANT ASSEMBLY PER CEDAR HILLS PUBLIC WORKS DEPT. STANDARDS & SPECS.
20. CONNECT TO SPRINKLER SYSTEM MAIN FEED PER FIRE PROTECTION CONTRACTOR STANDARDS & SPECS. SEE SHT. FP1.0-ARCHITECTURAL DWGS. (REFERENCE ONLY)
21. INSTALL "KNOX BOX" PER FIRE PROTECTION CONTRACTOR STANDARDS & SPECIFICATIONS
22. INSTALL 83± L.F. OF 3/4" TYPE "K" COPPER WATERLINE (BUILDING TO HOSE BIBB)
23. INSTALL FREEZE PROOF HOSE BIBB WITH BACKFLOW PREVENTOR
24. INSTALL NEW EXTERNAL GAS METER & PRESSURE REGULATOR VALVE PER QUESTAR STANDARDS & SPECIFICATIONS
25. INSTALL 62± L.F. OF 1" H.P. GAS LINE (BUILDING TO EXISTING GAS LINE LATERAL)
26. CONNECT NEW 1" GAS LINE TO EXISTING 6" GAS LINE, (BY OTHERS), CONTRACTOR TO FIELD VERIFY EXACT LOCATION, TYPE AND SIZE OF EXISTING GAS LINE BEFORE GAS LINES TO BUILDING ARE INSTALLED
27. INSTALL NEW TRANSFORMER & POWER UNIT BOX W/METER (BY ROCKY MOUNTAIN POWER - APPROX. LOCATION)
28. INSTALL 205± L.F. (TOTAL) OF UNDERGROUND POWER SERVICE (BUILDING TO TRANSFORMER - TRANSFORMER TO EXISTING POWERPOLE LINE TO SOUTHWEST (BY OTHERS))
29. CONTRACTOR TO FIELD VERIFY EXACT LOCATION OF EXISTING POWER SERVICE BEFORE POWER SERVICE TO TRANSFORMER AND BUILDING ARE INSTALLED
30. INSTALL 118± L.F. OF 1" CONDUIT FOR FUTURE POWER (BUILDING TO CONDUIT RISER IN TRASH ENCLOSURE)
31. INSTALL 1" CONDUIT RISER FOR FUTURE POWER
32. INSTALL CONDUIT TO THE BUILDING FOR POWER ON ALL DIRECTIONAL SIGNS (TYP.)
33. NEW LOT LIGHTING, SEE SHEET LTG-1

PROJECT DATA CHART - McDONALD'S PROPERTY

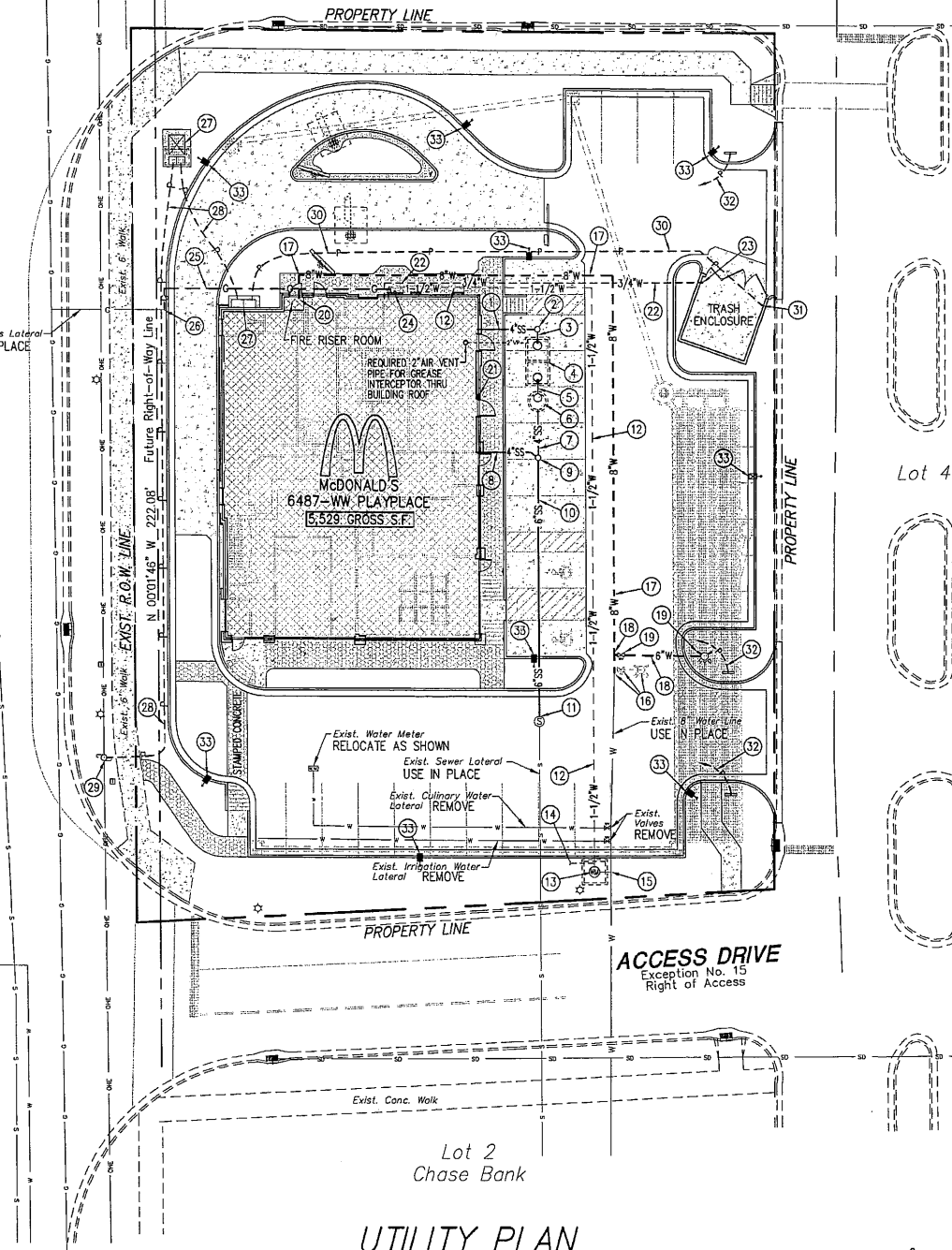
CEDAR HILLS ZONING	SC-1 COMMERCIAL SHOPPING CENTER ZONE
TOTAL GROSS ACREAGE	0.80 Ac. (34,784 Sq. Ft.)
TOTAL BUILDING AREA - GROSS	5,529 Sq. Ft.*
NUMBER OF PARKING SPACES	32



ACCESS DRIVE

Exception No. 15
Right of Access

4800 WEST STREET



UTILITY CONTACTS		
WATER	CEDAR HILLS PUBLIC WORKS DEPT.	801-785-9668, EXT. 202
STORM	CEDAR HILLS PUBLIC WORKS DEPT.	801-785-9668, EXT. 202
SEWER	CEDAR HILLS PUBLIC WORKS DEPT. TAMPANOGUS SPECIAL SERVICE DISTRICT	801-785-9668, EXT. 202 801-758-5231
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	QUESTAR GAS	1-800-323-5317
TELEPHONE	QUESTAR	1-800-244-1111

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPOSE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

GENERAL NOTES

1. ALL WORK PERFORMED WITHIN THE CITY OF CEDAR HILLS RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL SIGNS ARE BY THE GENERAL CONTRACTOR. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. FLAGPOLE ANCHOR BOLTS ARE BY McDONALD'S. ALL SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CEDAR HILLS CODE.
3. GENERAL CONTRACTOR TO PROVIDE CONCRETE BASES, CONDUIT & WIRE AS REQUIRED FOR LOT LIGHTS SHOWN. McDONALD'S TO PROVIDE ONLY ANCHOR BOLTS, POLES AND LOT LIGHT FIXTURES. REMAINDER BY GENERAL CONTRACTOR.
4. ALL RADII ARE TO THE TOP BACK OF CURB (TBC) UNLESS OTHERWISE NOTED. VERIFY IN FIELD (VLF) ALL DIMENSIONS. RESOLVE ANY DISCREPANCIES WITH McDONALD'S PROJECT MANAGER PRIOR TO COMMENCING WORK.
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXACT POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND ORIGINATING. GENERAL CONTRACTOR RESPONSIBLE TO OBTAIN ALL REQUIREMENTS OF UTILITY COMPANIES AND INCLUDE IN BASE BID ALL ASSOCIATED COSTS.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUND/BREAK. FINISH FLOOR ELEVATION IS AS NOTED ON GRADING AND DRAINAGE PLAN.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICAN'S WITH DISABILITIES ACT" (ADA).
9. ALL 6" CONCRETE VERTICAL CURB SHALL BE POURED MONOLITHICALLY WITH CONCRETE PAVEMENT. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS NOTED OTHERWISE.
10. GENERAL CONTRACTOR TO PLACE CONCRETE CONSTRUCTION JOINTS AS NEEDED WITH MAXIMUM AREA OF 400 S.F. (CAREY FELT SHALL NOT BE USED).
11. GENERAL CONTRACTOR TO PROVIDE SAWCUT JOINTS IN CONC. PAVEMENT IN ACCORDANCE WITH A.C.I. STANDARDS. JOINTS SHALL BE PLACED SUCH THAT THE MAXIMUM SIZE OF CONCRETE SLAB IS 120 S.F. AND THE RATIO OF THE SIDES IS NO MORE THAN 2:1.
12. COORDINATE ALL DRIVE-UP STRIPING AND MARKINGS WITH McDONALD'S PROJECT MANAGER.
13. CONTRACTOR TO FIELD VERIFY LOCATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER.
14. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF CEDAR HILLS WATER COMPANY CULINARY WATER AND/OR SANITARY SEWER SYSTEM EXTENSION AGREEMENT WITH SPECIFICATIONS, DOCUMENTATION, TYPICAL DETAILS AND FORMS.
15. LOT LIGHTING CONC. FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE, OR AS DIRECTED BY McDONALD'S.
16. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

PAVING SPECIFICATION FOR McDONALD'S SITE

ASPHALT:

COMPACTION: 3" A.C. (2 LIFTS) 98% MARSHALL
6" BASE COURSE 95% PROCTOR
12" REWORKED EXISTING GRANULAR FILL

OIL CONTENT: 4.5% - 6.0%
STABILITY: 100 LBS. MIN.
GRADATION EXTRACTION: 55% MAX. SHALL PASS U.S. STD. #4 SIEVE.

CONCRETE:

COMPACTION: 6" CONCRETE
6" BASE COURSE 95% PROCTOR
12" REWORKED EXISTING GRANULAR FILL

NOTES:

1. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.

2. SEE SOILS REPORT BY INTERMOUNTAIN GROUNDWATER SERVICES INC.

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING SYSTEMS
3477 WEST TOWHY AVENUE
LINCOLNWOOD, IL 60645
1-800-544-4848
ASB1000-MH-DB-MT WITH
1000 WATT METAL HALIDE LAMP

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION
(EXISTING)

TOTAL SPACES NA	-	H.C.	SPACES	9'-0" X 18'-6" @ 60°
	-		SPACES	9'-0" X 18'-0" @ 60°
	-		SPACES	9'-0" X 18'-0" @ 90°

PARKING INFORMATION
(PROPOSED)

TOTAL SPACES 32	2	H.C.	SPACES	9'-0" X 20'-0" @ 90°
	7		SPACES	9'-0" X 20'-0" @ 90°
	23		SPACES	9'-0" X 18'-0" @ 90°

SURVEY INFORMATION

PREPARED BY: DOMINION ENGINEERING
5684 SOUTH GREEN STREET
MURRAY, UTAH 84123
801-713-3000

DATE: JULY, 2009

LEGEND

EXIST. TELEPHONE	EXIST. UNDERGROUND POWER
EXIST. GAS LINE	EXIST. WATER VALVE
EXIST. WATER	EXIST. FIRE HYDRANT
EXIST. IRRIGATION PIPE	
EXIST. OVERHEAD POWER	# PARKING STALLS

PLAN SCALE: 1" = 20'

STREET ADDRESS
LOT 1 - CEDAR HILLS RETAIL SUBDIVISION
4800 WEST STREET & WEST CEDAR HILLS DRIVE

CITY CEDAR HILLS STATE UTAH

COUNTY UTAH

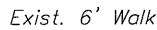
REGIONAL DWG. NO. CORPORATE DWG. NO.

BY		ISSUE	REF
REV	DATE	DESCRIPTION	
1	11/3/09	REVISIONS PER CEDAR HILLS CITY REVIEW & COMMENTS	
2	11/6/09	REVISIONS PER ROCKY MOUNTAIN POWER REVIEW & COMMENTS	
3	12/2/09	REVISIONS PER CEDAR HILLS CITY REVIEW & COMMENTS	

PLANNING APPROVALS		DATE	
SIGNATURE (2 REQUIRED)			
REGIONAL MGR.			
CONST. MGR.			
OPERATIONS DEPT.			
REAL ESTATE DEPT.			
CO-SIGN SIGNATURES		DATE	
CONTRACTOR			
OWNER			

STATUS		DATE	BY
PRELIMINARY			
PLAN CHECKED			
AS-BUILT			

SP-3



BLDG. SERIES 6487-W/PLAYPLACE

$$1'' = 10'$$



SHEET NO.	TITLE	DRAWN BY	BY
	SITE DETAILS FOR 6487-WW BUILDING	STD ISSUE DATE	DESCRIPTION
SD-1	DESCRIPTION DRIVE-THRU MENU BOARDS, C.O.D.'S, ETC. LOCATION PLAN	REVIEWED BY	
		DATE REVIEWED	
		DATE ISSUED	

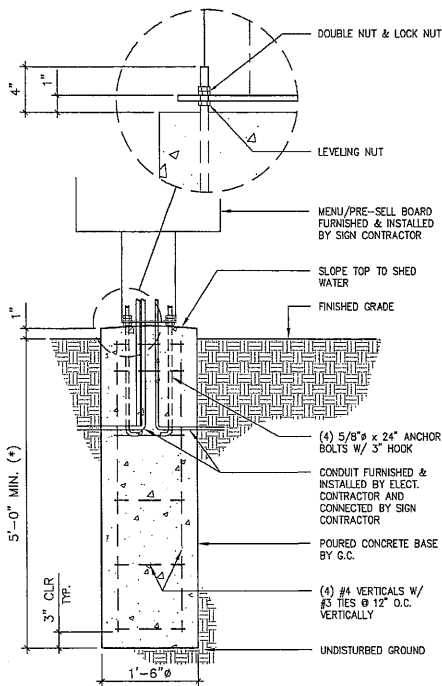
McDONALD'S CORPORATION

1980, S.W.C. - DAK BROS. LUMBER, 60231
© 1980 McDonald's Corporation

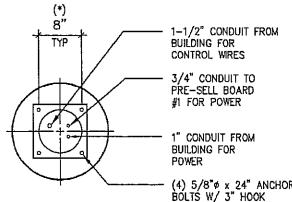
THESE DRAWINGS AND SPECIFICATIONS SHALL NOT BE COPIED OR REPRODUCED WITHOUT THE WRITTEN PERMISSION OF McDONALD'S CORPORATION AND SHALL NOT BE USED FOR ANY OTHER PROJECTS. ANY VIOLATION OF THIS AGREEMENT WILL BE CONSIDERED A BREACH OF CONTRACT AND WILL BE PROSECUTED TO THE FULL EXTENT OF THE LAW. THE USER OF THESE DRAWINGS FOR ANY OTHER PROJECTS, OR ANY OTHER PROJECTS, WITHOUT THE WRITTEN PERMISSION OF McDONALD'S CORPORATION, IS AT THE USER'S SOLE RISK. THE USER OF THESE DRAWINGS FOR ANY OTHER PROJECTS, OR ANY OTHER PROJECTS, WITHOUT THE WRITTEN PERMISSION OF McDONALD'S CORPORATION, IS AT THE USER'S SOLE RISK. THE USER OF THESE DRAWINGS FOR ANY OTHER PROJECTS, OR ANY OTHER PROJECTS, WITHOUT THE WRITTEN PERMISSION OF McDONALD'S CORPORATION, IS AT THE USER'S SOLE RISK.

SITE ADDRESS
4800 WEST STREET & WEST CEDAR HILLS DRIVE, CEDAR HILLS, UTAH





MAIN MENU BOARD FOUNDATION SECTION



MAIN MENU BOARD FOUNDATION PLAN

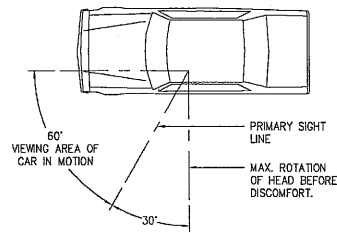
- NOTES:
- IN POOR SOIL CONDITIONS (SOIL TYPES 1 & 2, WET SOFT CLAY, LOOSE SILT), INCREASE MENU BOARD FOUNDATION DIAMETER TO 24" AND DEPTH TO 5'-6".

FLORIDA PLASTICS MAIN MENU BOARD FOUNDATION DETAILS

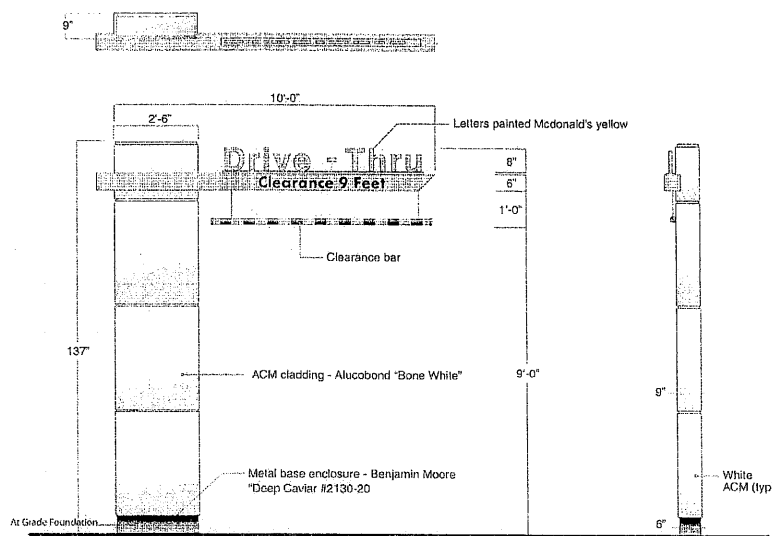
NOT TO SCALE

GENERAL NOTES

- SEE SHEET DT1.0 FOR LOCATION AND ORIENTATION OF MENU BOARDS AND PRE-SELL BOARDS.
- REFER TO MAIN BUILDING ELECTRICAL PLANS FOR TERMINATION OF CONDUIT RUNS INSIDE BUILDING.
- COORDINATE LOCATION OF SIGNAGE WITH McDONALD'S PROJECT MANAGER.



VEHICLE SIGHT LINES
NOT TO SCALE



GATEWAY/HEIGHT DETECTOR DETAILS

NOT TO SCALE

ImagePoint
P.O. Box 18043
Knoxville, TN
37901-0043
1-800-444-7446

INSTALLATION INSTRUCTIONS:

- UNCRATE AND INSPECT SIGN. NOTIFY IMAGEPOINT OF ANY DAMAGE.
- USE SITE PLAN TO ESTABLISH POSITION OF SIGN (IF AVAILABLE).
- EXCAVATE FOUNDATION AND POSITION (4) ANCHOR BOLTS AND BRACE TO PREVENT MOVEMENT THEN POUR CONCRETE. ALLOW CONCRETE TO CURE FOR 7 DAYS.
- LIFT COLUMN/CLAD INTO PLACE ON ANCHOR BOLTS AND ADJUST FOR LEVEL AND PLUMB USING LEVELING NUTS. TIGHTEN ALL NUTS.
- LIFT BREAK-AWAY CLEARANCE ARM INTO PLACE. OPEN HINGED PLATES & LINE UP MOUNTING HOLES WITH COLUMN MOUNTING PLATE. SUPPORT ARM WHILE ATTACHING BOLTS (ARM SHOULD BE FOLDED BACK 90°). SEE BREAK-AWAY CLEARANCE ARM ATTACHMENT DETAIL ON PAGE 2.
- REMOVE LIFTING ANGLE AND REPLACE WITH SUPPLIED HOLE PLUG.
- USE NON-SHRINK GROUT TO FILL IN GAP AT LEVELING NUTS.
- CLEAN SIGN AND DISCARD INSTALLATION DEBRIS ACCORDINGLY. TOUCH UP SCRATCHES WITH SUPPLIED PAINT.

FOUNDATION SPECIFICATION FOR:

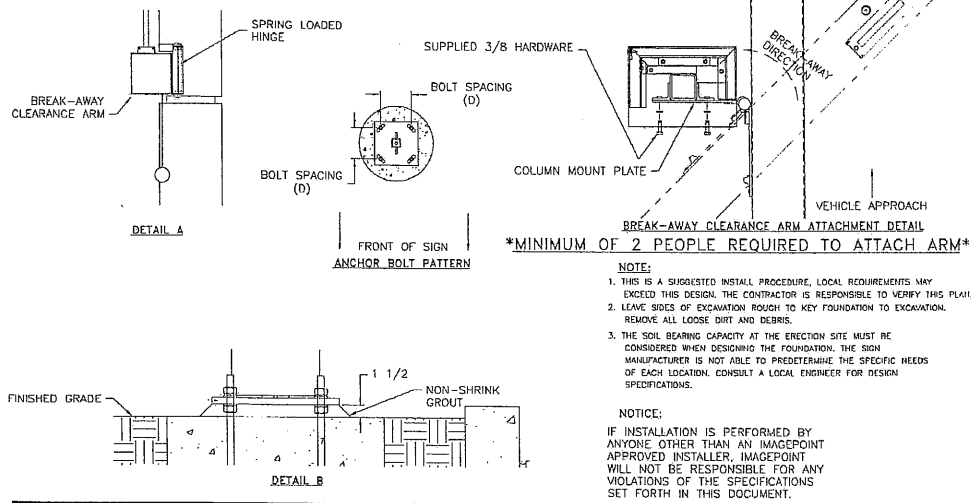
McDONALD'S GATEWAY

USE OR REUSE OF THIS DOCUMENT FOR OTHER LOCATIONS IS STRICTLY PROHIBITED WITHOUT APPROVAL OF ENGINEER.

Sign:

HEIGHT: 10'-10" OAH
WIND LOAD: 90 & 150 MPH 3 SECOND GUST, EXPOSURE "C"

- CONTRACTOR SHALL VERIFY ALL SITE CONDITIONS AND DIMENSIONS.
- CONCRETE SHALL BE READY MIXED AND DESIGNED TO DEVELOP A MINIMUM COMPRESSIVE STRENGTH OF 3000 PSI IN 28 DAYS.
- REINFORCING BARS SHALL CONFORM TO ASTM A-615 GRADE 60 WITH DEFORMATIONS IN CONFORMING WITH ASTM A-305.
- THE ENGINEER HAS NOT INSPECTED THE SITE. IT SHALL BE THE OWNER'S OR HIS AGENT'S RESPONSIBILITY TO VERIFY THE SOIL AT THE SITE IS SUITABLE FOR FOUNDATION AS SHOWN.
- THESE DRAWINGS CONTAIN INSTALLS FOR VERTICAL SLAB, BLOCK & CAISSON FOUNDATIONS.

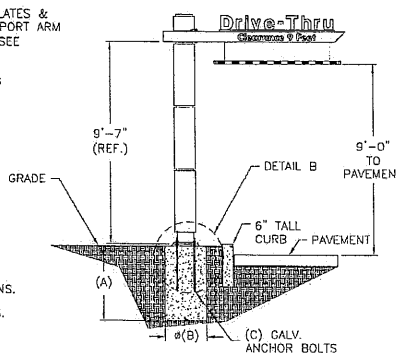


GATEWAY/HEIGHT DETECTOR SIGN BASE FOOTING DETAIL

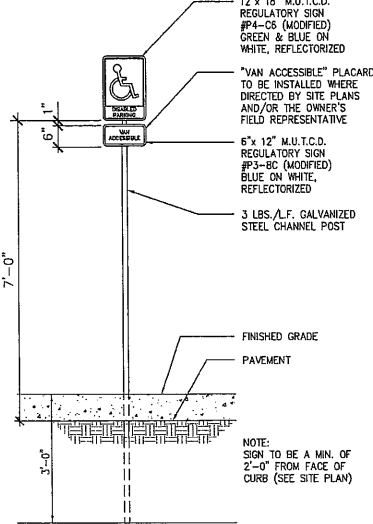
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ImagePoint
P.O. Box 18043
Knoxville, TN
37901-0043
1-800-444-7446

McDONALD'S GATEWAY

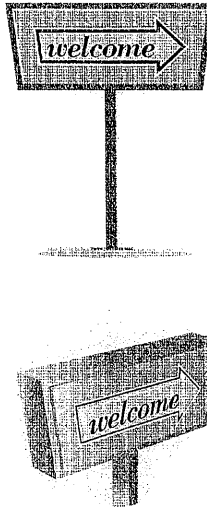


	(A)	(B)	(C)	(D)	EXCAVATION	CONCRETE
90/150 MPH	3'-6"	42'-0"	1127085908H	10"	0.407 CU. YDS	0.407 CU. YDS



"HANDICAP PARKING-ONLY" SIGN

1/4" = 1'-0"

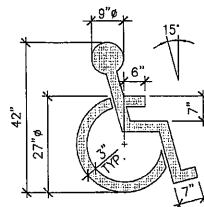


SPECIFICATIONS:
LAMPING: (2) F30T12/CW/WHO
BALLAST: (1) Magnelek 256-249-600
LOAD: 83 Amps
CIRCUIT: (1) 20 Amp
SQ. FT.: ACTUAL (3.52)
BOXED (3.75)

DIRECTIONAL SIGN DETAILS

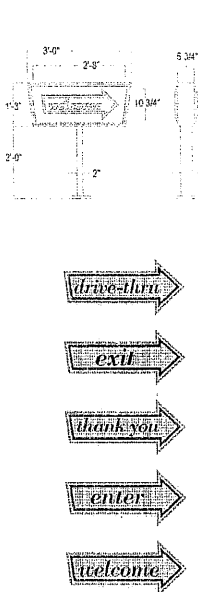
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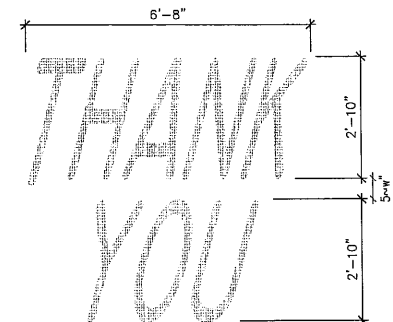


PAINTED HANDICAPPED PARKING SYMBOL

1/4" = 1'-0"



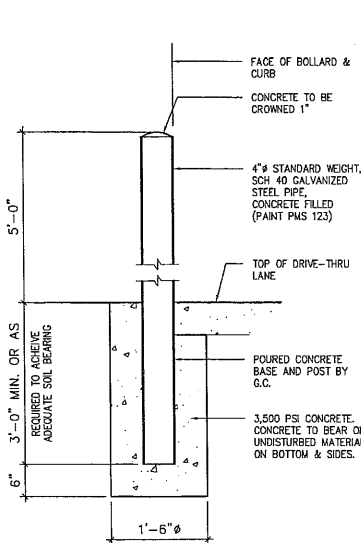
- NOTES - DIRECTIONAL SIGNS:
- G.C. TO COORDINATE THE RESPONSIBILITIES OF THE ELECTRICAL CONTRACTOR AND THE SIGN SUPPLIER.
 - G.C. TO INSTALL PRE-FORMED, PRE-WIRED VEHICLE DETECTOR LOOP.
 - #12 GREEN GROUNDING CONDUCTOR MUST BE RUN WITH CIRCUIT CONDUCTORS FROM GROUND BUS IN PANEL LP TO ALL MENU BOARDS AND REFERENCE BOARDS.
 - ALL UNDERGROUND CONDUIT FOR AUDIO TO BE P.V.C. NO METAL ALLOWED.
 - DIRECTIONAL SIGN FOOTING TO BE USED FOR ALL ENTER/EXIT/THANK YOU SIGNS AND DRIVE-THRU DIRECTIONAL SIGNAGE. COORDINATE WITH THE SITE PLANS AND McDONALD'S PROJECT MANAGER FOR THE EXACT LOCATION, ORIENTATION AND NUMBER OF SIGNS TO BE INSTALLED AT THIS SITE. ALL WORK TO BE COORDINATED WITH THE OTHER TRADES.
 - ALL GALVANIZED ANCHOR BOLTS TO BE SUPPLIED BY THE CONTRACTOR.



NOTE: ALL TEXT SHALL BE PAINTED YELLOW (PMS 123)

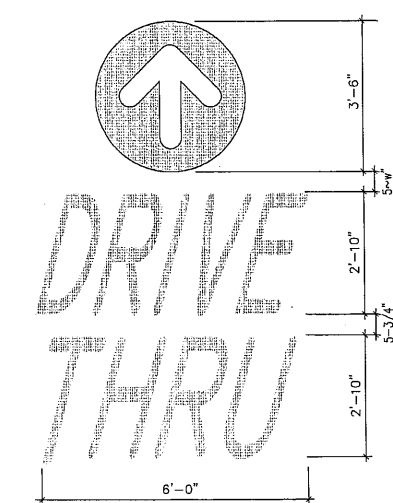
PAINTED "THANK YOU"

1/4" = 1'-0"



DRIVE THRU BOLLARD FOUNDATION

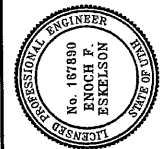
3/4" = 1'-0"



NOTE: ALL TEXT AND ARROWS SHALL BE PAINTED YELLOW (PMS 123)

PAINTED "DRIVE THRU"

1/2" = 1'-0"



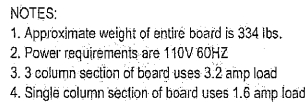
PREC. DRIVE-THRU, CAN. DRIVE, LK. DRIVE, 100FT. THESE DRAWINGS AND SPECIFICATIONS ARE THE PROPRIETARY AND CONFIDENTIAL PROPERTY OF MCDONALD'S CORPORATION. NO PART OF THESE DRAWINGS OR SPECIFICATIONS MAY BE REPRODUCED OR TRANSMITTED IN ANY FORM OR BY ANY MEANS, ELECTRONIC OR MECHANICAL, INCLUDING PHOTOCOPYING, RECORDING, OR BY ANY INFORMATION STORAGE AND RETRIEVAL SYSTEM, WITHOUT THE WRITTEN PERMISSION OF MCDONALD'S CORPORATION. THE CONTRACT DOCUMENTS, INCLUDING THESE DRAWINGS, SHALL BE KEPT COMPLETELY SEPARATE FROM ANY OTHER DOCUMENTS. THE CONTRACT DOCUMENTS SHALL BE KEPT IN A SAFE PLACE AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER MADE AVAILABLE TO ANY OTHER PERSON OR ENTITY. THE CONTRACT DOCUMENTS SHALL BE KEPT FOR A PERIOD OF FIVE (5) YEARS AFTER THE DATE OF COMPLETION OF THE PROJECT. THE CONTRACT DOCUMENTS SHALL BE KEPT IN A SAFE PLACE AND NOT BE LOANED, REPRODUCED, COPIED, OR IN ANY MANNER MADE AVAILABLE TO ANY OTHER PERSON OR ENTITY.

DRAWN BY
STD. ISSUE DATE
9/30/99

REVIEWED BY
DATE REVIEWED
DATE ISSUED
5/01

SITE DETAILS
FOUNDATION AND MISCELLANEOUS DETAILS, DRIVE THRU DETAILS

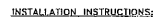
SHEET NO. SD-2



NOT TO SCALE



NOT TO SCALE



1. UNCRATE AND TEST LIGHT SIGN. NOTIFY WACREPORT OF ANY DAMAGE.
2. USE SITE PLAN TO ESTABLISH POSITION OF SIGN (IF AVAILABLE).
3. EXCAVATE FOUNDATION AND POSITION CONDUIT AS INDICATED.
4. POSITION (4) ANCHOR BOLTS AND BRACE TO PREVENT MOVEMENT. THEN POUR CONCRETE.
5. PULL 120 AC WIRES AND LEAVE 24" AT SIGN LOCATION.
6. REMOVE LOWER BACK COVER OF SIGN TO ACCESS HAND HOLE COVER.
7. LIFT SIGN INTO PLACE ON ANCHOR BOLTS AND ADJUST FOR LEVEL AND PLUMB.
8. MAKE ELECTRICAL CONNECTIONS INSIDE HAND HOLE TO CONFORM WITH NEC & ALL APPLICABLE LOCAL CODES. ALL WIRES MUST BE ENCLOSED IN CONDUIT.
9. ENERGIZE CIRCUIT AND CHECK OPERATION.
10. REPLACE BACK COVER AND CLEAN SIGN, DISCARD INSTALLATION DEBRIS ACCORDINGLY. TOUCH UP SCRATCHES WITH SUPPLIED PAINT.

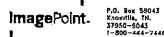
NOTE:

1. THIS IS A SUGGESTED INSTALL PROCEDURE, LOCAL REQUIREMENTS MAY EXCEED THIS DESIGN. THE CONTRACTOR IS RESPONSIBLE TO VERIFY THIS PLAN.
2. LEAVE SIDES OF EXCAVATION ROUGH TO KEY FOUNDATION TO EXCAVATION. REMOVE ALL LOOSE DIRT AND DEBRIS.
3. THE SOIL BEARING CAPACITY AT THE ERECTION SITE MUST BE CONSIDERED WHEN DESIGNING THE FOUNDATION. THE SIGN MANUFACTURER IS NOT ABLE TO PRE-DETERMINE THE SPECIFIC NEEDS OF EACH LOCATION. CONSULT A LOCAL ENGINEER FOR DESIGN SPECIFICATIONS.
- BONE WHITE SKIN ✓
- GRADE 1 1/2

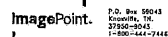
-



NOT TO SCALE



NOT TO SCALE



N.T.S.

- (COD) SUPPLIED BY EVERBRITE:

- * CUSTOMER ORDER DISPLAY SIGN W/ ANCHOR BOLT SHROUD
- * SELF CONTAINED FULL MATRIX ELECTRONIC DISPLAY
- * (1) RS-442 DATA CABLE 200' LONG.
- * (1) RS232 - RS485 CONVERTER, 2' DATA CABLE W/DB9 & RJ11 CONNECTORS & 5V POWER CORD
- * DATA CABLE CONNECTION BOX

NOTES:

1. SPEAKER & MICROPHONE SUPPLIED BY AUDIO VENDOR. POS INSTALLATION & TROUBLESHOOTING GUIDE SUPPLIED BY AUDIO VENDOR. TORX HEAD DRIVER REQUIRED FOR INTERNAL ACCESS TO SIGN (NOT SUPPLIED).

2. INSTALLER TO ENSURE SIGN IS PROPERLY INSTALLED, CONNECTED AND GROUNDED PER ALL LOCAL CODES.

(COD) SUPPLIED BY EVERBRITE:

3,000 PSI CONCRETE 0.5 CUBIC YARDS REQUIRED

1. SIGN, POLE, AND CONCRETE BASE ARE DESIGNED TO WITHSTAND A WIND OF 30 PSF
2. CONCRETE BASE DESIGNED USING A SOIL BEARING PRESSURE OF 1,000 PSF VERTICAL. IF THESE SOIL CONDITIONS DO NOT EXIST, IT IS THE ERECTOR'S RESPONSIBILITY TO HAVE A NEW BASE DESIGNED FOR THE EXISTING SOIL CONDITIONS BY A LICENSED STRUCTURAL ENGINEER.

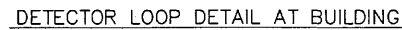


DISTRIBUTOR:
INDICATOR CONTROLS CORPORATION
3000 EAST LAS HERMANAS STREET
RANCHO DOMINGUEZ, CALIFORNIA 90221
CONTACT: (800) 733-7872 FOR ORDERING
OR (310) 603-8825 GREG ODION FOR SERVICE

MATERIAL:
POLYVINYL CHLORIDE TUBING 1/2" I.D. 100 PSI
LOOP MADE FROM ONE LENGTH OF THIN FOURTEEN
GAUGE STRANDED WIRE. LEAD-IN IS PRE-TWISTED
AT FACTORY

CONSTRUCTION:
FORMED WITH ONE CONTINUOUS LENGTH OF PVC
WITH NO SHARP CORNERS AS IN DRAWING. WIRE
LOOPEED, FORMED & PIGTAILED AS ILLUSTRATED
ON THIS SHEET.

NOTE:
DO NOT USE REINFORCEMENT RODS BELOW LOOP.
KEEP ALL REBARS AND SCREENING AT LEAST TWO
FEET AWAY FROM LOOP.




- (COD) INSTALLATION INSTRUCTIONS:

1. RUN SUPPLIED RS-422 DATA CABLE THRU CONDUIT. THE CABLE WILL NEED TO REACH THE DATA CABLE CONNECTION BOX LOCATED IN THE SIGN SHROUD. ALLOW "SLACK" IN CABLE OUTSIDE OF CONNECTION BOX (THE SIGN IS ADJUSTABLE IN HEIGHT, PLEASE ALLOW 12" MIN. FOR ADJUSTMENT)
2. UNPACK SIGN, LOCATE AND SET ASIDE ANCHOR BOLT SHROUD, CONVERTER KIT, & SPOOL OF DATA CABLE.
3. REMOVE SHROUD COVERS BY REMOVING (10) \varnothing TORX HEAD SCREWS.
4. ATTACH SIGN TO FOUNDATION MAKING SURE SIGN IS LEVEL.
5. REMOVE COVER FROM DATA CABLE CONNECTION BOX AND MAKE REQUIRED CONNECTIONS. (SEE 7/5/03).
6. REPLACE COVER ON BOX. PEEL COVERING OFF OF ADHESIVE TAPE ON CONNECTION BOX AND ADHESIVE BOX TO INSIDE OF SHROUD. HOLES MUST BE LOCATED TO THE BOTTOM WHEN ATTACHING TO STRUCTURE.
7. MAKE PRIMARY CONNECTION.
8. REMOVE MICROPHONE ACCESS COVER AT THE BACK OF THE A.B.S. ELECTRONICS HOUSING BY REMOVING (4) \varnothing TORX HEAD SCREWS.
9. REMOVE SQUARE PIECE OF FOAM ACOUSTICAL INSULATION. LEAVE OTHER LONG PIECE OF INSULATION IN PLACE. POSITION MICROPHONE INTO INSULATION MAKING SURE THE MICROPHONE IS PLACED TIGHT AGAINST PERFORATED GRILL. TURN WIRING THRU BUSHING AND FEED THRU CABINET SO THAT END IS IN THE SHROUD AREA.
10. REPLACE SQUARE PIECE OF FOAM INSULATION TO COVER BACK OF MICROPHONE.
11. REPLACE ACCESS COVER WITH (4) \varnothing TORX HEAD SCREWS PREVIOUSLY REMOVED.
12. REMOVE 2-1/2" THICK SQUARE PIECE OF FOAM INSULATION LOCATED IN THE REAR SHROUD FOR THE SPEAKER HOUSING.
13. REMOVE SPEAKER HOUSING FROM THE SHROUD.
14. REMOVE SPEAKER HOUSING FROM THE SHROUD.
15. REMOVE SPEAKER HOUSING FROM THE SHROUD.
16. REMOVE SPEAKER HOUSING FROM THE SHROUD.
17. WITH INSULATION IN HAND, SCORE WITH A UTILITY KNIFE THE SHAPE OF AN "X" (SEE 6/5/03 DETAIL "A") APPROXIMATELY 1-3/4" DEEP. CREATE SMALL HOLE THRU BACK OF FOAM FOR WIRE TO PASS THROUGH.
18. INSERT SPEAKER INTO INSULATION SO THAT FACE OF SPEAKER IS FLUSH WITH FRONT OF INSULATION.
19. INSERT SPEAKER ASSEMBLY INTO THE SPEAKER HOUSING. POSITION SO THAT FACE OF SPEAKER IS PLACED TIGHT & CENTERED AGAINST PERFORATED GRILL.
20. MAKE SPEAKER, MICROPHONE, AND LOOP DETECTOR CONNECTIONS.
21. ADJUST HEIGHT OF SIGN BY REMOVING (4) 1/4"-20 BOLTS, WASHERS, AND NUTS ON POLE STRUCTURE. ADJUSTMENT MADE IN 2" INCREMENTS. RESISTION TO DESIRED HEIGHT, AND REPLACE (4) 1/4"-20 BOLTS, WASHERS AND NUTS.
22. TURN ON POWER TO SIGN TO TEST. FLIP SWITCH ON SIGN TO "ON" POSITION. (REFER TO 7/5/03)
23. REPLACE POLE SHROUD COVERS.
24. UNPACK SHROUD PARTS AND LOCATE HARDWARE PACKED W/CONVERTER.
25. ATTACH LONGER SIDE PIECES TO ONE (1) SHORT FRONT PIECE. (SEE 6/5/03 DETAIL "B")
26. SLIP OVER ANCHOR BOLTS AND ATTACH REMAINING BACK PIECE.
27. CLEAN SITE OF ANY DEBRIS.
28. ALL C.O.D.'S REQUIRE A DEDICATED CIRCUIT.



N.T.S.

ALL COMPONENTS SHOWN SUPPLIED BY EVERBRITE UNLESS NOTED

SHEET NO.	TITLE	DRAWN BY	DATE		BY
	SITE DETAILS	STD ISSUE DATE			
	DESCRIPTION	12-11-98			
		REVIEWED BY			
	DRIVE THRU AND MISCELLANEOUS DETAILS	DATE REVIEWED		REV	DATE
		DATE ISSUED			

Technical drawing of a gate assembly, showing side and front elevations with detailed annotations.

Annotations:

- 2x2x 1/4" ANGLE FRAME AND DIAGONAL BRACES, GRIND WELDS AND CORNERS SMOOTH, PRIME & PAINT W/ 2 COATS RUSTOLEUM
- G.C. TO PROVIDE 8" BOLT & EYE LATCH, TYP.
- METAL COLLAR TYP. WELD TO POST
- 4 SD4
- 1x6" TREX® BOARDS BOLTED TO FRAME (COLOR TO MATCH BRICK)
- 6" CONC. BLOCK
- 6" Ø STANDARD WEIGHT GALV. SCH 40 PIPE, CONCRETE FILLED (PAINT FMS 123)
- SLOPE TOP OF CONCRETE & POST FOR DRAINAGE (TYP)
- GRADE
- 3 SD4
- CANE BOLTS SEE BELOW
- DRILLED HOLES
- 1'-10"
- 1'-6" x 1'-6"
- 1'-10"

[illegible]

The technical drawings include:

- A side view of a bolt assembly with dimensions: 2" height, 4" width, and labels for "18 GA. SHEET METAL ATTACH TO WOOD PANELS AS REQ'D".
- A cross-section view of a collar assembly with labels for "COLLARS", "3/4\" CANE BOLT W/ 4\" HOOK", and a dimension of "1\".
- A circular detail labeled "3" and "SD4" with the note "BOLT DETAILS NOT TO SCALE".
- A detailed view of a metal collar fitting over a post, with labels: "METAL COLLAR TO FIT OVER 6\" POST GREASE AREA BETWEEN POST AND HINGE", "WELD TO FRAME", and "ALEMITE 1610-BL HYDRAULIC GREASE FITTING, DRILL & TAP HOLE (TYP. 6 PLACES)".
- A perspective view of a metal collar with dimensions 1 1/2", 1 1/2", and 1 1/2", and a label: "METAL COLLAR TYP. WELD BOTTOM COLLAR TO POST, BOLT TOP COLLAR".

16'-0"

TOP COURSE TO BE 12" PRECAST CONCRETE PIECE (BY ANCHOR CONCRETE PRODUCTS)

FACEBRICK COLOR: "RUBIGO RED VELOUR" BY BELDEN OR EQUAL

6" CONCRETE BLOCK REINFORCE WITH #5's @ EACH CORNER, END & @ 48" O.C. BETWEEN FILL BLOCK CELLS W/ GROUT. LAP BARS 24"

DIUROWALL REINF. @ 18"

1/2" EXPANSION JT.

CONC. SLAB, SEE SITE PLAN

8'-0"

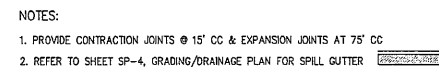
2'-4"

3' C.R. TYP.

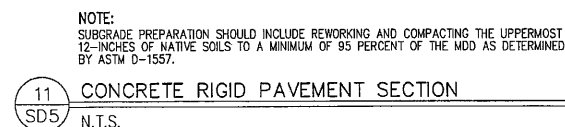
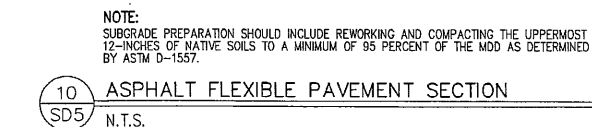
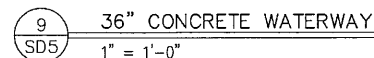
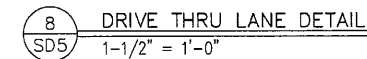
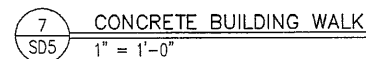
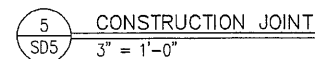
DOWEL TO MATCH WALL REINFORCEMENT

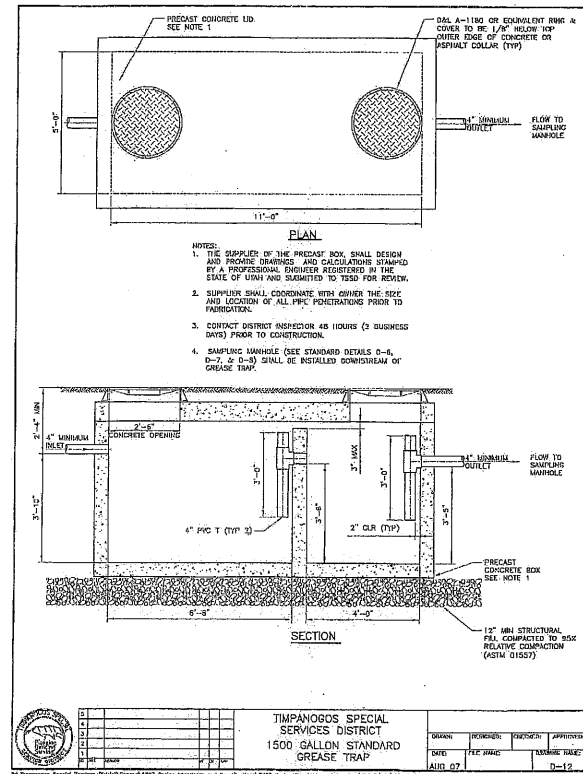
(2) #5 CONT.

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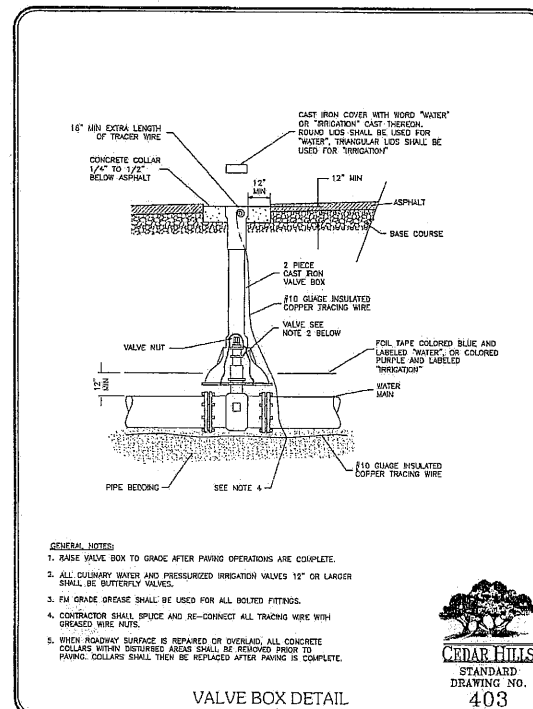


1 CONCRETE CURB & GUTTER
SD5 1" = 1'-0"

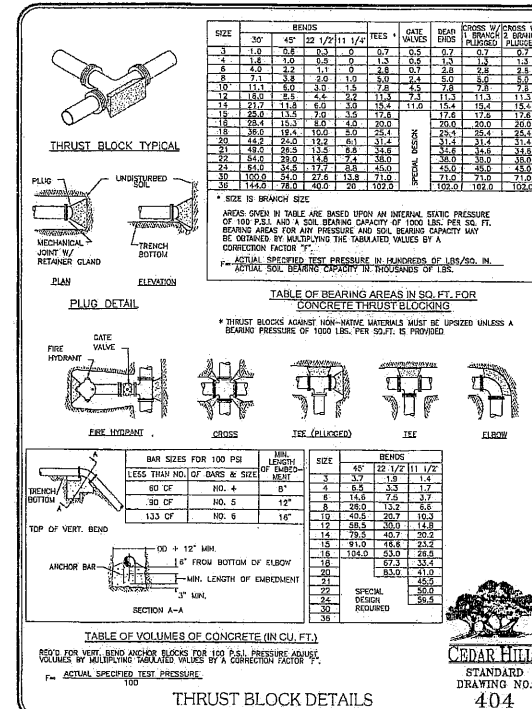




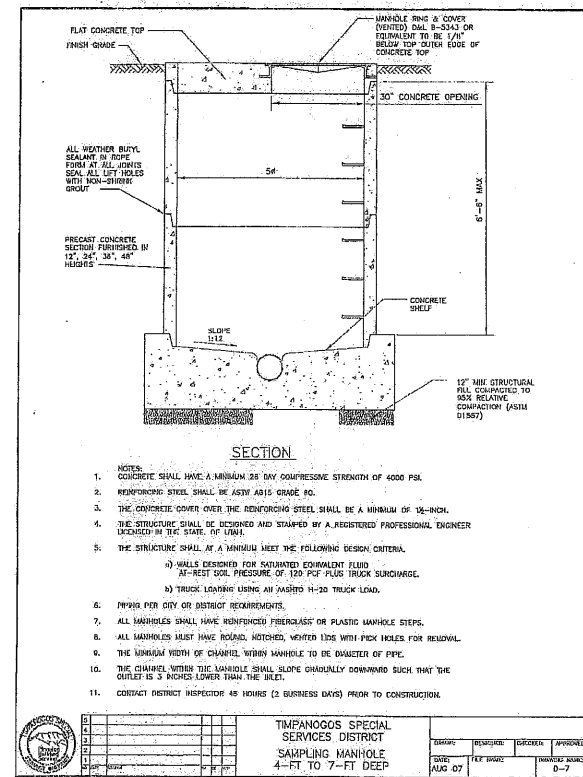
1,500 GAL. GREASE INTERCEPTOR - PLAN VIEW
N.T.S.



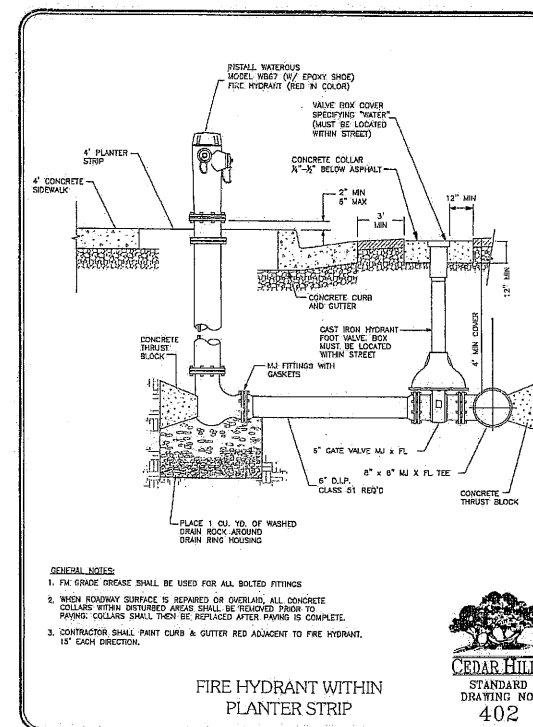
VALVE BOX DETAIL
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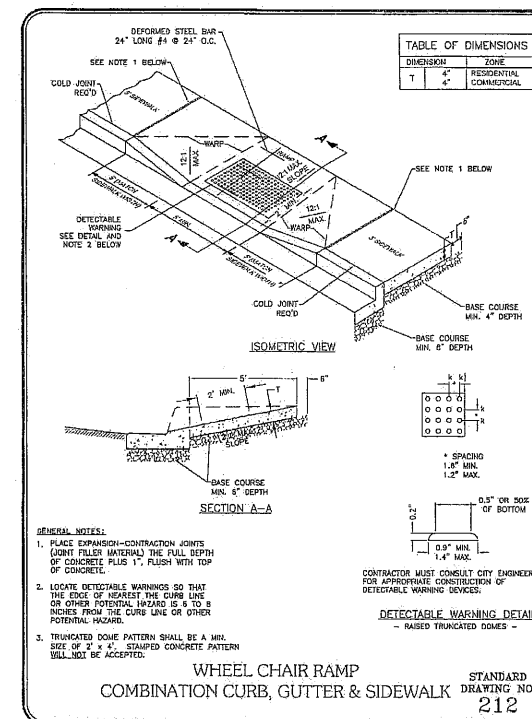
THRUST BLOCK DETAIL
N.T.S.



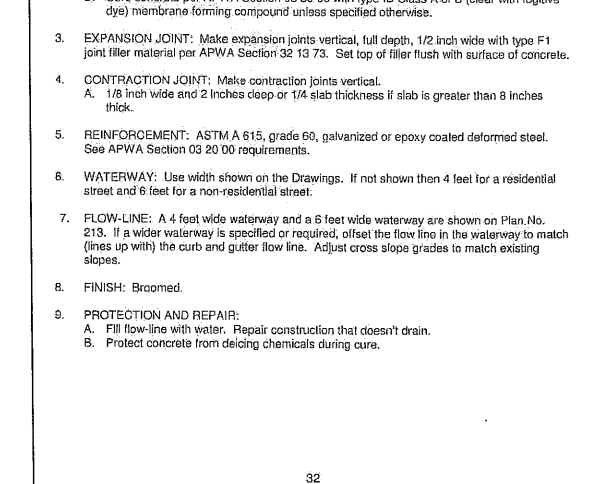
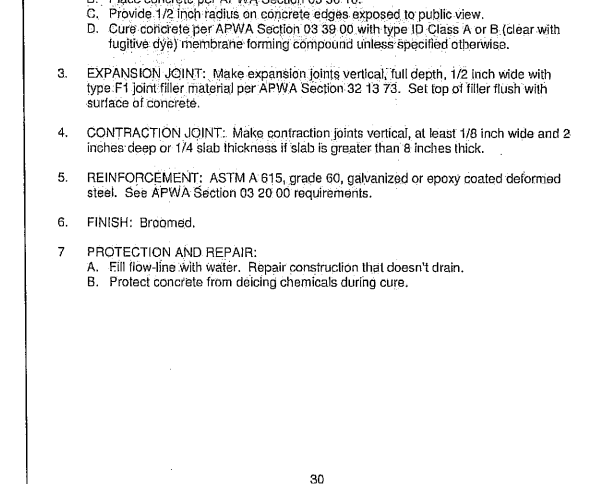
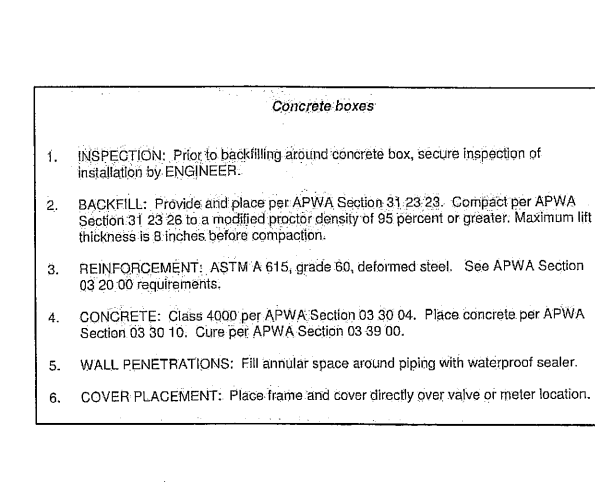
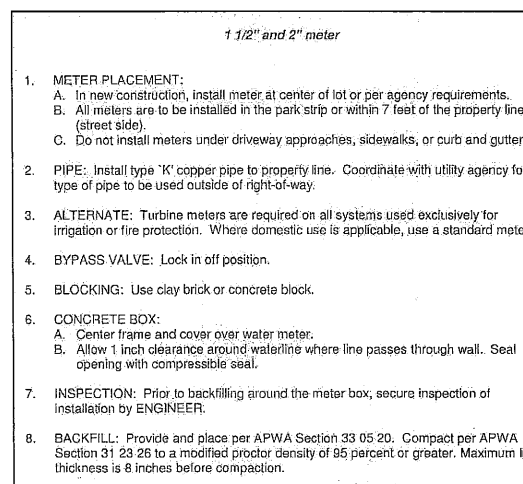
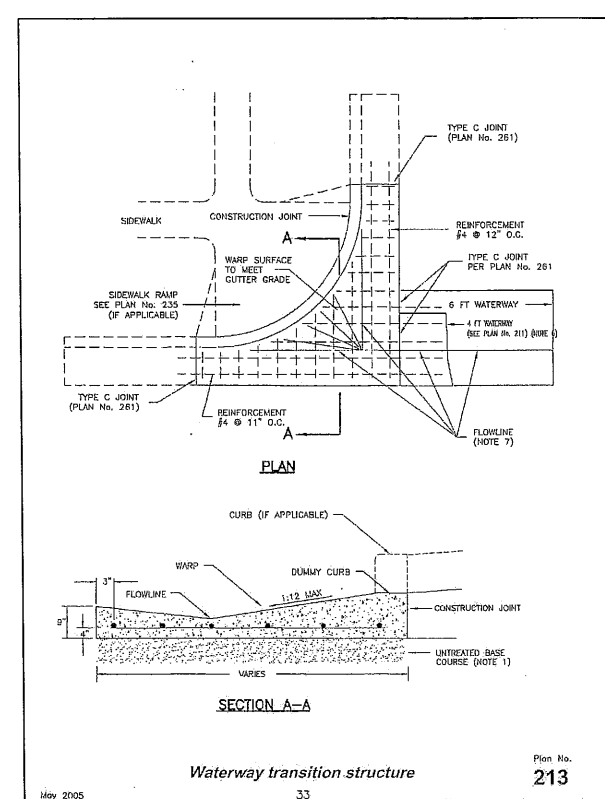
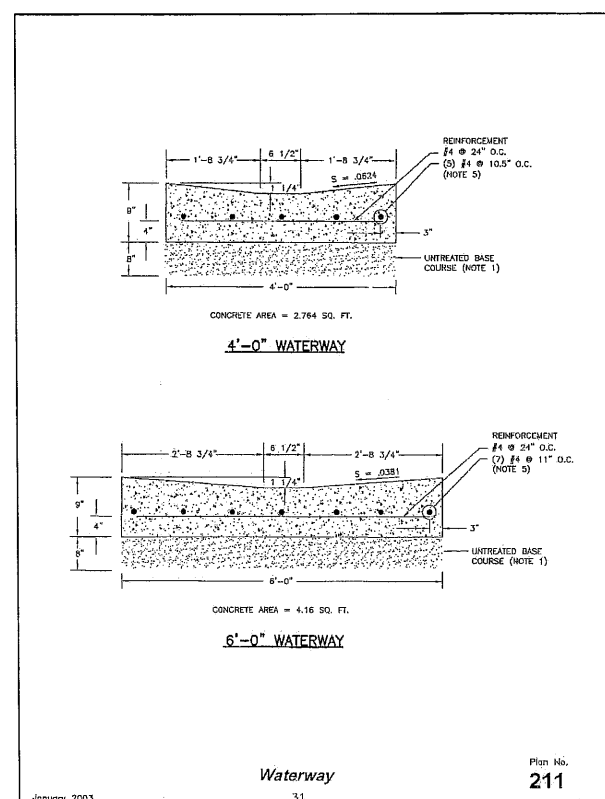
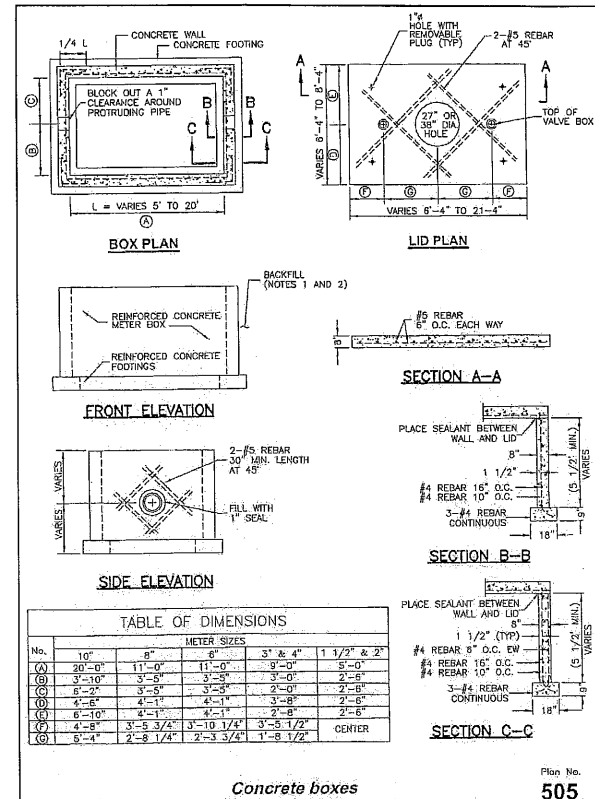
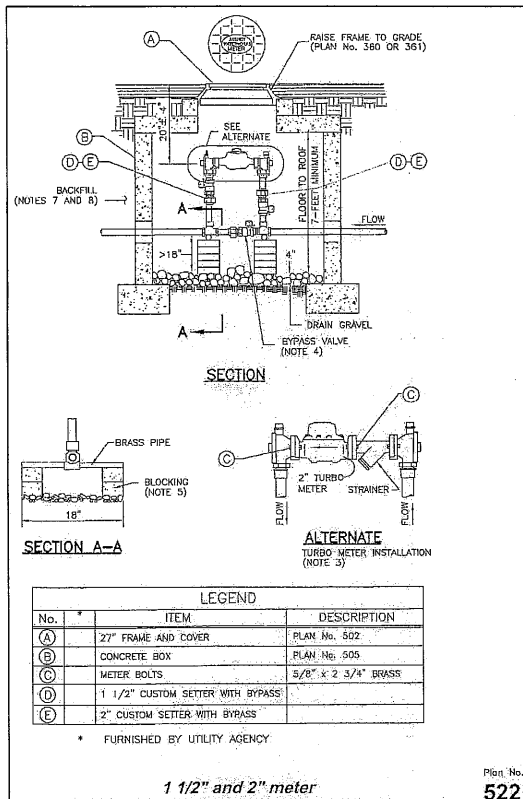
SAMPLING MANHOLE - EXAMPLE DETAIL
N.T.S.




FIRE HYDRANT DETAIL
N.T.S.



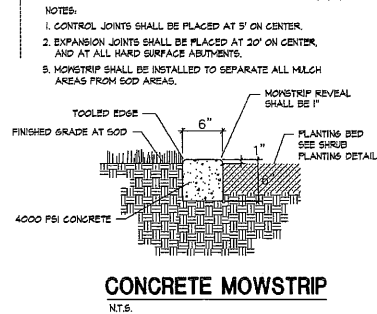
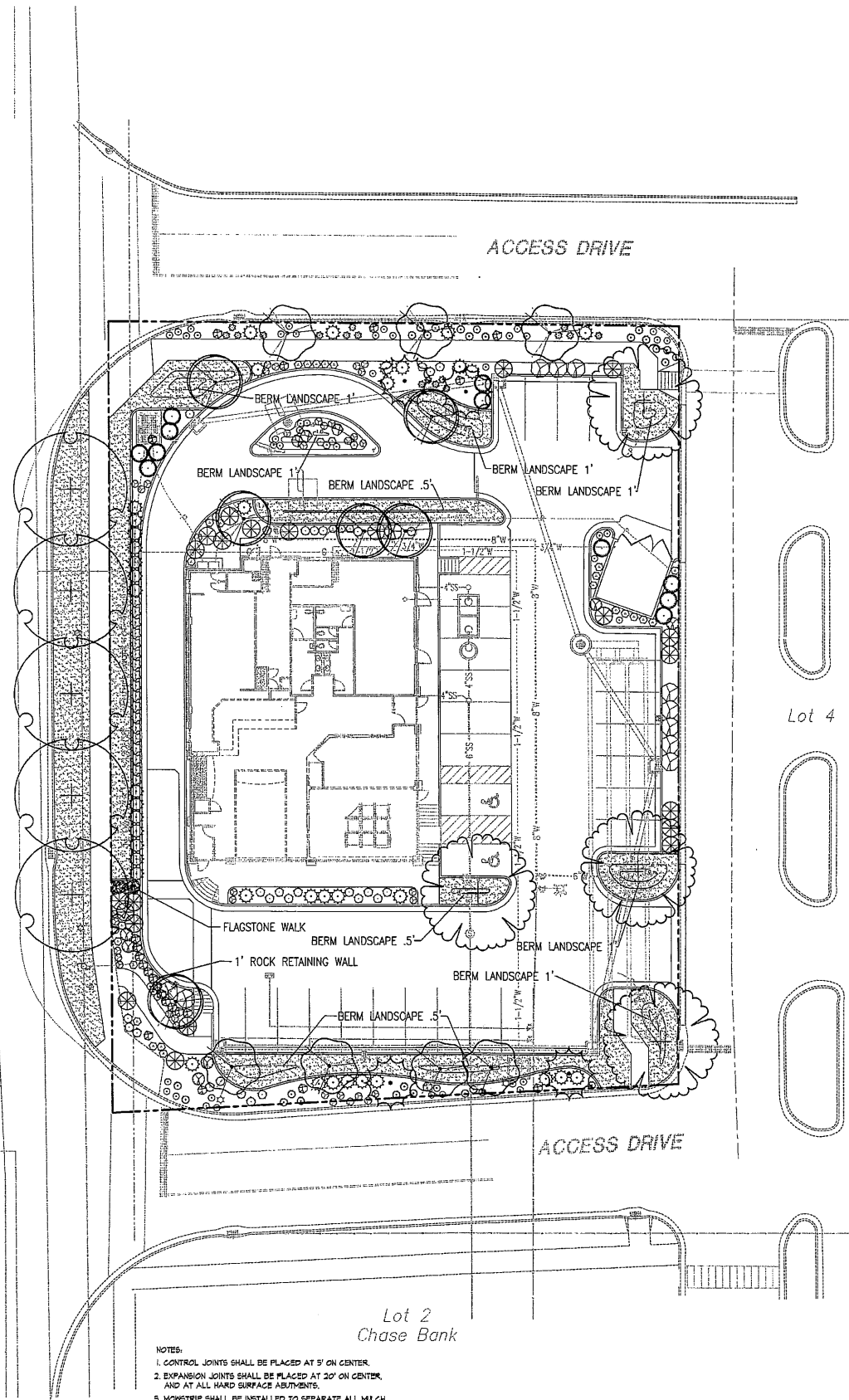
RAMP DETAIL
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SHEET NO.	TITLE		DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE REVIEWED	DATE ISSUED	SITE ADDRESS	4800 WEST ST. & WEST CEDAR HILLS DRIVE, CEDAR HILLS, UTAH		REV	DATE	DESCRIPTION	BY
	SD-7	STANDARD STORM DRAINAGE DETAILS												
	DESCRIPTION										1	11/3/09	REVISIONS PER CEDAR HILLS CITY REVIEW & COMMENTS	JRH

4800 WEST STREET



LANDSCAPE PLAN

9/22/09

PLANTING NOTES:

1. LANDSCAPE BIDS MUST BE IN A DETAILED UNIT PRICE FORMAT SHOWING COST BREAKDOWN OF ALL LANDSCAPE ELEMENTS. ANY ELEMENT MAY BE ADDED OR DELETED BY THE LANDSCAPE ARCHITECT OR OWNER. CONTRACTOR COMPENSATION WILL BE ADJUSTED ACCORDING TO THE UNIT PRICE BIDS. ANY SUBSTITUTION MUST BE BY LANDSCAPE ARCHITECT APPROVAL. LANDSCAPE ARCHITECT WITHOUT JUSTIFICATION MAY DISALLOW BIDS AND SELECT CONTRACTOR REGARDLESS OF BID FIGURES. THE SELECTED CONTRACTOR MUST CONTACT THE OWNER'S CONSTRUCTION REPRESENTATIVE BEFORE BEGINNING CONSTRUCTION TO SCHEDULE A PRE-CONSTRUCTION MEETING. CONTRACTOR OR SUBCONTRACTORS PARTICIPATION IN CONSTRUCTION OF THIS PLAN MUST BE LICENSED BY THE STATE OF UTAH FOR THE TYPE OF WORK BEING PERFORMED.

2. CODES, LAWS, REGULATIONS, AND PERMITS BY FEDERAL, STATE, COUNTY AND CITY AGENCIES FOR DESIGN CONCEPT, MATERIALS AND WORKMANSHIP MUST BE RESEARCHED AND SATISFIED BY THE CONTRACTOR. REPORT ANY PROBLEMS OR REQUIREMENTS TO THE LANDSCAPE ARCHITECT. THE CONTRACTOR MUST VERIFY THE REGULATIONS FOR AND SECURE ANY PERMITS BEFORE BEGINNING CONSTRUCTION. THE COST FOR THE PERMIT FEES MAY BE SUBMITTED TO THE OWNER FOR REIMBURSEMENT. CALL BLUE STAKES AND REFER TO DRAINAGE AND CIVIL PLANS BEFORE ANY TRENCHING OR EXCAVATION.

3. CONSTRUCTION SAFETY AND CLEANUP MUST MEET OSHA STANDARDS AT ALL TIMES. ALL CONTRACTORS MUST HAVE ADEQUATE LIABILITY, PERSONNEL INJURY AND PROPERTY DAMAGE INSURANCE. CLEAN UP MUST BE PERFORMED DAILY, AND ALL HARDSCAPE ELEMENTS MUST BE WASHED FREE OF DIRT AND MUD ON FINAL CLEAN UP. CONSTRUCTION MUST OCCUR IN A TIMELY MANNER.

4. LANDSCAPE PLANS AND DETAIL DRAWINGS ARE SCHEMATIC ONLY. DISCREPANCIES MAY EXIST, INCLUDING BUT NOT LIMITED TO BUILDING LOCATION, PROPERTY LINES, ANY DIMENSIONS SPECIFIED OR IMPLIED. THE CONTRACTOR WILL BE REQUIRED TO ADJUST PLANS AS NECESSARY TO RETAIN CONCEPT INTEGRITY. CONTACT LANDSCAPE ARCHITECT IF DISCREPANCIES EXIST.

5. PLANT MATERIAL EXCAVATION. CALL BLUE STAKE AND MAKE REFERENCE TO DRAINAGE AND CIVIL PLANS BEFORE EXCAVATION FOR PLANT MATERIAL. ALL HOLES MUST ALLOW FOR A MINIMUM OF SIX (6) INCHES OF SPECIFIED PLANTING MIX BACKFILL MATERIAL ON ALL SIDES OF ROOT BALL FOR SHRUBS, AND 3X BALL DIAMETER FOR TREES.

6. PLANT MATERIAL BACKFILL MUST BE A WELL MIXED COMBINATION OF 1/3 NATIVE SOIL, 1/3 TOPSOIL, AND 1/3 ORGANIC COMPOSTED MATERIAL. DEEP WATER ALL PLANT MATERIAL IMMEDIATELY AFTER PLANTING. ADD BACKFILL MATERIAL TO DEPRESSIONS AS NECESSARY.

7. SOIL AMENDING SHALL INCLUDE COMPOSTED ORGANIC MATERIAL TO BE ADDED AT A RATE OF FOUR CUBIC YARDS PER 1000 SQUARE FEET. TILL INTO THE SOIL TO A DEPTH OF 6". ALL SOD AND SHRUB AREAS SHALL HAVE THE SOIL AMENDED.

8. TOP SOIL MUST BE A PREMIUM QUALITY DARK SANDY LOAM, FREE OF ROCKS, CLODS, ROOTS, AND PLANT MATTER. THE TOPSOIL WILL BE EVENLY SPREAD AND SMOOTH GRADED ON A CAREFULLY PREPARED SUBGRADE TO A DEPTH OF THREE INCHES (3") IN ALL FLOWERING ANNUAL BEDS, CONTAINERIZED GROUND COVER AREAS, AND AREAS TO BE SODDED.

9. SOD MUST BE PREMIUM QUALITY, ULTRA GREEN, EVENLY CUT, ESTABLISHED, HEALTHY, WEED AND DISEASE FREE, AND FROM AN APPROVED SOURCE. SOD MUST BE DELIVERED AND LAID IMMEDIATELY AFTER CUTTING. SOD MUST BE LAID WITH NO GAPS BETWEEN PIECES ON A CAREFULLY PREPARED TOPSOIL LAYER. THE LAID SOD MUST BE IMMEDIATELY WATERED AFTER INSTALLATION. ANY BURNED AREAS WILL REQUIRE REPLACEMENT. ADJUST SPRINKLER SYSTEM TO ASSURE HEALTHY GREEN SURVIVAL OF THE SOD WITHOUT WATER WASTE.

10. SHREDDED WOOD MULCH WILL BE REQUIRED IN ALL LANDSCAPE BEDS FOR SHRUBS, PERENNIALS, AND ANNUALS. THE MULCH SHALL BE APPLIED OVER DEWITT PROS WEED BARRIER. MULCH SHALL BE EVENLY SPREAD ON A CAREFULLY PREPARED GRADE TO A MINIMUM DEPTH OF THREE (3) INCHES. THE TOP OF ALL AREAS OF MULCH SHALL BE AT THE GRADE OF THE ADJACENT CURB, WALK, OR EDGE OF PAVEMENT.

11. FERTILIZER FOR SOD AREAS SHALL BE PELLETED, N-P-K AS APPROVED BY LANDSCAPE ARCHITECT FOR SEASONAL ADJUSTMENT. USE 20 LBS PER 5,000 SQUARE FEET OR AS PER MANUFACTURER'S SPECIFICATIONS. SPREAD EVENLY ON A CAREFULLY PREPARED TOPSOIL LAYER JUST PRIOR TO LAYING SOD.

12. TREE STAKING AND GUYING SHALL BE ON AN AS NEEDED BASIS ONLY. THE CONTRACTOR SHALL DETERMINE STAKING NEEDS DEPENDENT ON SITE SOIL CONDITIONS. IT IS THE CONTRACTOR'S RESPONSIBILITY TO REMOVE TREE GUYING AND STAKING IN A TIMELY MANNER ONCE STAKED TREES HAVE TAKEN ROOT. NO STAKING SHALL REMAIN BEYOND A REASONABLE TIME FOR ROOT PENETRATION AND STABILIZATION.

13. TREE WRAPPING MAY BE USED TO PROTECT YOUNG TREES FROM WINTER DAMAGE. TREE WRAPS SHALL ONLY BE INSTALLED IN THE FALL. IF THE CONTRACTOR INSTALLS WRAPS FOR TREE PROTECTION IT SHALL BE THE CONTRACTOR'S RESPONSIBILITY TO PROMPTLY REMOVE WRAPS THE FOLLOWING SPRING.

14. LANDSCAPE MAINTENANCE MUST BE PERFORMED BY THE LANDSCAPE CONTRACTOR DURING ESTABLISHMENT (30 DAYS AFTER FINAL ACCEPTANCE OF ENTIRE PROJECT). RESPONSIBILITIES INCLUDE WEED CONTROL AND MOWING. NOTIFY OWNER AND CONSTRUCTION REPRESENTATIVE WHEN ESTABLISHMENT PERIOD HAS ENDED TO INSURE ONGOING MAINTENANCE. THE OWNER IS RESPONSIBLE FOR LANDSCAPE MAINTENANCE AND UPKEEP ONCE ESTABLISHMENT PERIOD HAS EXPIRED.

15. ALL PLANT MATERIAL AND LANDSCAPE ELEMENTS WILL BE GUARANTEED FOR ONE YEAR AFTER FINAL ACCEPTANCE. ANY ITEMS THAT ARE NOT FIRST CLASS PREMIUM QUALITY WILL BE REPLACED BY THE CONTRACTOR AT NO COST TO THE OWNER. ANY PLANT MATERIAL THAT IS NOT PREMIUM QUALITY OR APPEARS STRESSED IN ANY WAY DURING THE GUARANTEE PERIOD MAY REQUIRE REPLACEMENT. THE CONTRACTOR MUST SCHEDULE A PRE AND POST GUARANTEE MEETING WITH THE OWNER'S REPRESENTATIVE FOR INSPECTION. FAILURE TO DO SO WILL MEAN THE OFFICIAL GUARANTEE PERIOD HAS NOT BEEN ACTIVATED OR DE-ACTIVATED.

16. SUBMITTALS OF ALL LANDSCAPE MATERIALS SHALL BE APPROVED BY THE LANDSCAPE ARCHITECT PRIOR TO COMMENCING WORK. PROVIDER INFORMATION AND SAMPLES SHALL BE SUBMITTED OF THE WOOD MULCH AND TOPSOIL. NURSERY STOCK SUBMITTAL SHALL INCLUDE PROVIDER INFORMATION WITH A LIST OF PLANT MATERIALS BEING PROVIDED BY THE NURSERY.

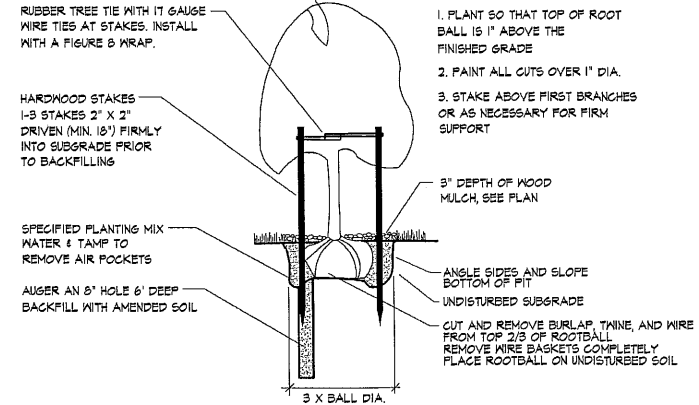
17. IT IS THE CONTRACTOR'S RESPONSIBILITY TO VERIFY ALL QUANTITIES LISTED ON THE PLANS AND THE AVAILABILITY OF ALL PLANT MATERIALS AND THEIR SPECIFIED SIZES PRIOR TO SUBMITTING A BID. THE CONTRACTOR MUST NOTIFY THE LANDSCAPE ARCHITECT PRIOR TO SUBMITTING A BID IF THE CONTRACTOR DETERMINES A QUANTITY DEFICIENCY OR AVAILABILITY PROBLEM WITH SPECIFIED MATERIAL.

18. SPECIFICATIONS FOR LANDSCAPE AND IRRIGATION CONSTRUCTION SHALL BE THE 2007 APWA "MANUAL OF STANDARD SPECIFICATIONS".

19. THE CONTRACTOR SHALL INSTALL AN AUTOMATIC IRRIGATION SYSTEM (DESIGN BUILD) THAT FULLY IRRIGATES ALL PLANT MATERIALS.

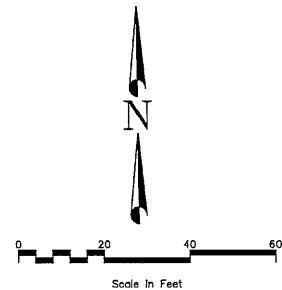
PLANT SCHEDULE

TREES		QTY	BOTANICAL/COMMON	CONT	CAL
	7	Prunus cerasifera 'Minnesota Newport' / Minnesota Newport Plum	B & B	2' Cal	
	4	Gleditsia triacanthos 'Skyline' / Skyline Honeylocust	B & B	2' Cal	
	5	Fraxinus pennsylvanica 'Patmore' / Patmore Ash	B & B	2' Cal	
	6	Malus 'Sugar Tyme' / Sugar Tyme Crab Apple	B & B	2' Cal	
	4	Pinus leucodermis 'Heldreichii' / Bosnian Pine	B & B	6' Ht	
SHRUBS		QTY	BOTANICAL/COMMON	CONT	
	26	Berberis thunbergii 'Crimson Pygmy' / Crimson Pygmy Barberry		5 gal	
	10	Cotoneaster dammeri / Coral Beauty Cotoneaster		5 gal	
	2	Euonymus alatus 'Compactus' / Compact Burning Bush		5 gal	
	21	Juniperus horizontalis 'Blue Chip' / Blue Chip Juniper		5 gal	
	28	Spiraea x bumalda 'Goldmound' / Gold Mound Spiraea		5 gal	
	6	Caryopteris clandonensis 'Sunshine Blue' / Blue Mist Spiraea		5 gal	
	39	Pinus mugo 'Slowmound' / Slowmound Mugo Pine		5 gal	
	17	Berberis thunbergii 'Kobold' / Kobold Barberry		5 gal	
	11	Juniperus sabina 'Cologreen' / Cologreen Juniper		5 gal	
	18	Buxus x 'Green Mountain' / Green Mountain Boxwood		5 gal	
GRASSES		QTY	BOTANICAL/COMMON	CONT	
	33	Calamagrostis x acutiflora 'Karl Foerster' / Feather Reed Grass		1 gal	
	46	Festuca ovina glauca 'Elijah Blue' / Blue Fescue		1 gal	
	37	Hemerocallis Pardon Me / Daylily		1 gal	
GROUND COVERS		QTY	BOTANICAL/COMMON	CONT	
	5,205 sf	Poa pratensis / Kentucky Bluegrass (3 Variety Minimum)		sod	
	26	Landscape Boulder 8-12 CF			



TREE PLANTING / STAKING

N.T.S.



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

McDONALD'S CORPORATION

THIS PLAN IS A PRELIMINARY DESIGN. IT IS NOT TO BE USED FOR CONSTRUCTION OR FOR ANY OTHER PURPOSE WITHOUT THE WRITTEN APPROVAL OF THE ARCHITECT. THE ARCHITECT ASSUMES NO LIABILITY FOR ANY DAMAGE OR INJURY TO PERSONS OR PROPERTY ARISING OUT OF THE USE OF THIS PLAN. THE ARCHITECT'S RESPONSIBILITY IS LIMITED TO THE DESIGN AND CONSTRUCTION OF THE PROJECT AS SHOWN ON THIS PLAN. THE ARCHITECT DOES NOT WARRANT THE ACCURACY OF ANY INFORMATION PROVIDED BY OTHERS. THE ARCHITECT'S DESIGN IS BASED ON THE ASSUMPTIONS AND CONDITIONS SET FORTH IN THE CONTRACT DOCUMENTS. THE ARCHITECT'S DESIGN IS NOT A GUARANTEE OF PERFORMANCE.

LANDSCAPE PLAN

LANDSCAPE PLAN AND NOTES

LS-1

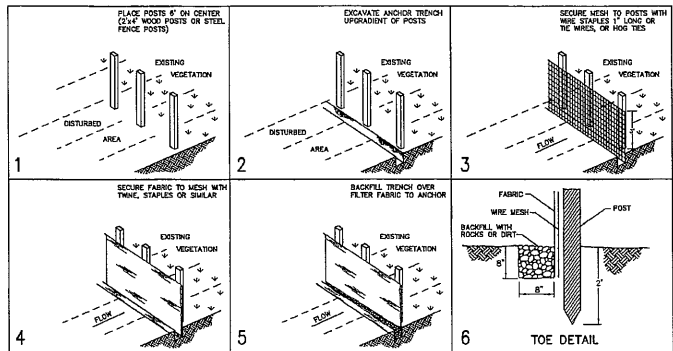
DLP	REVISIONS PER CEDAR HILLS CITY REVIEW & COMMENTS	BY
1	11/13/09	
2	11/19/09	
3	12/2/09	



SITE ADDRESS
10180 NORTH 4800 WEST CEDAR HILLS DRIVE, CEDAR HILLS, UTAH

DATE	DATE	DATE	DATE
DRAWN BY	STD ISSUE DATE	REVIEWED BY	DATE REVIEWED

DEFINITION:	A TEMPORARY SEDIMENT BARRIER CONSISTING OF FILTER FABRIC STRETCHED ACROSS AND SECURED TO SUPPORTING POSTS AND ENTRENCHED.
PURPOSE:	TO FILTER STORM WATER RUNOFF FROM UPGRADIENT DISTURBED AREA AND TRAP SEDIMENT ON SITE.
APPLICATION:	<ul style="list-style-type: none"> ● PERIMETER CONTROL: PLACE FENCE AT DOWNGRADIENT LIMITS OF DISTURBANCE ● SEDIMENT BARRIER: PLACE FENCE AT TOE OF SLOPE OR SOIL STOCKPILE ● PROTECTION OF EXISTING WATERWAYS: PLACE FENCE AT TOP OF STREAM BANK ● INLET PROTECTION: PLACE FENCE SURROUNDING CATCHBASINS



LIMITATIONS:

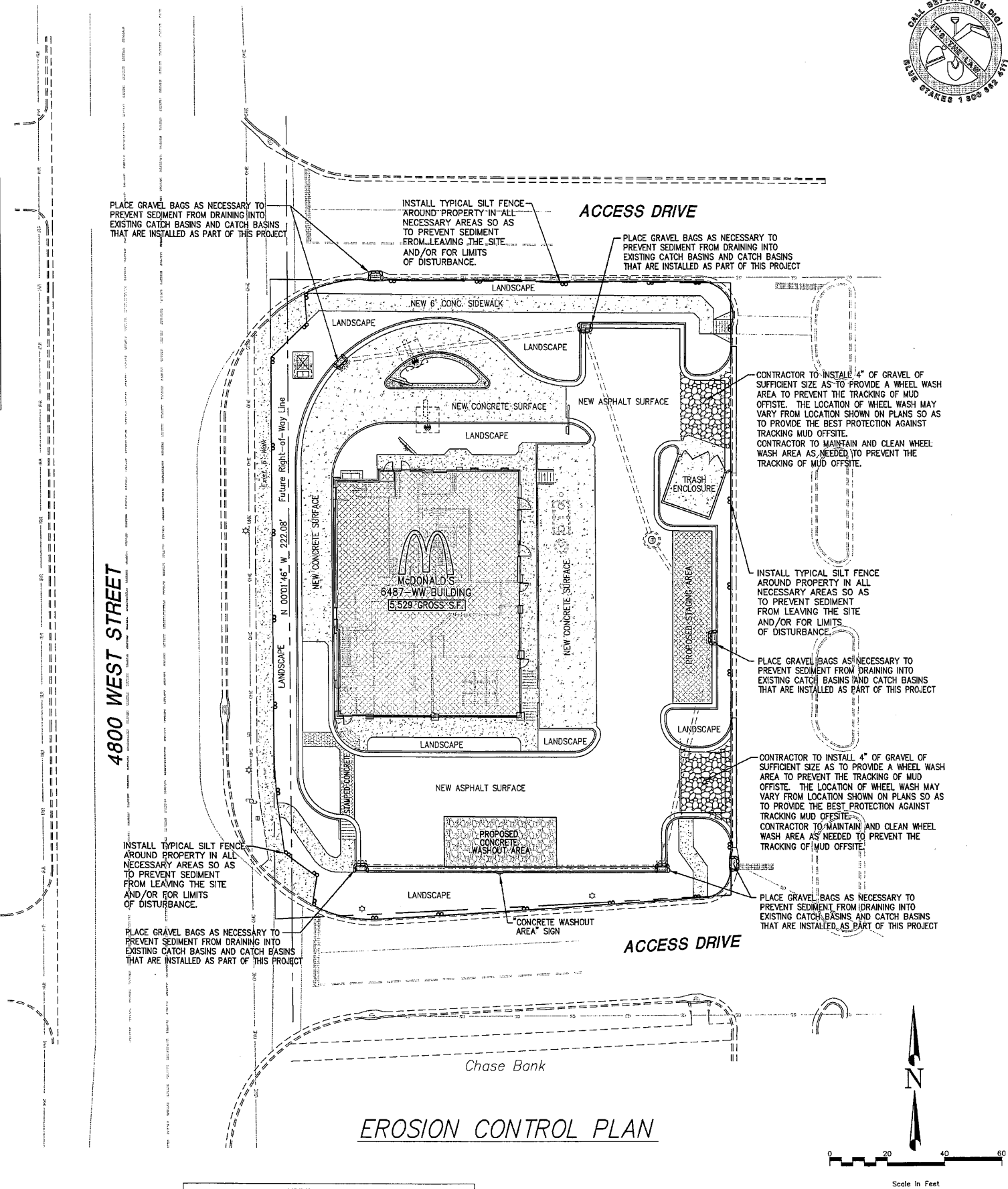
- RECOMMENDED MAXIMUM DRAINAGE AREA OF 0.5 ACRE PER 100 FEET OF FENCE
- RECOMMENDED MAXIMUM UPGRADIENT SLOPE LENGTH OF 150 FEET
- RECOMMENDED MAXIMUM UPHILL GRADE OF 2:1 (50%)
- RECOMMENDED MAXIMUM FLOW RATE OF 0.5 cfs
- PONDING SHOULD NOT BE ALLOWED BEHIND FENCE

INSTALLATION:

- PLACE POSTS 6 FOOT ON CENTER ALONG CONTOUR (OR USE PREASSEMBLED UNIT) AND DRIVE 2 FEET MINIMUM INTO GROUND. EXCAVATE AN ANCHOR TRENCH IMMEDIATELY UPGRADIENT OF POSTS.
- SECURE WIRE MESH (14 GAUGE MIN. WITH 6 INCH OPENINGS) TO UPSLOPE SIDE OF POSTS. ATTACH WITH HEAVY DUTY WIRE STAPLES 1 INCH LONG, THE WIRES OR HOG RINGS.
- CUT FABRIC TO REQUIRED WIDTH. UNROLL ALONG LENGTH OF BARRIER AND DRAPE OVER BARRIER. SECURE FABRIC TO MESH WITH TWINE, STAPLES, OR SIMILAR, WITH TRAILING EDGE EXTENDING INTO ANCHOR TRENCH.
- BACKFILL TRENCH OVER FILTER FABRIC TO ANCHOR.

MAINTENANCE:

- INSPECT IMMEDIATELY AFTER ANY RAINFALL AND AT LEAST DAILY DURING PROLONGED RAINFALL.
- LOOK FOR RUNOFF BYPASSING ENDS OF BARRIERS OR UNDERCUTTING FENCE.
- REPAIR OR REPLACE DAMAGED AREAS OF THE FENCE AND REMOVE ACCUMULATED SEDIMENT.
- REANCHOR FENCE AS NECESSARY TO PREVENT SHORTCUTTING.
- REMOVE ACCUMULATED SEDIMENT WHEN IT REACHES 1/2 THE HEIGHT OF THE FENCE.



UTILITY CONTACTS		
WATER	CEDAR HILLS PUBLIC WORKS DEPT.	801-785-9668, EXT. 202
STORM	CEDAR HILLS PUBLIC WORKS DEPT.	801-785-9668, EXT. 202
SEWER	CEDAR HILLS PUBLIC WORKS DEPT. TIMPANGOUS SPECIAL SERVICE DISTRICT	801-785-9668, EXT. 202 801-785-5231
ELECTRIC POWER	ROCKY MOUNTAIN POWER	1-888-221-7070
GAS	QUESTAR GAS	1-800-323-5517
TELEPHONE	QWEST	1-800-244-1111

UTILITY NOTE

THE UNDERGROUND UTILITIES SHOWN HAVE BEEN LOCATED FROM ABOVE GROUND SURVEY TIES AND/OR EXISTING UTILITY DRAWINGS AND VERBAL EXPLANATIONS. THE SURVEYOR MAKES NO GUARANTEE THAT THE UNDERGROUND UTILITIES SHOWN COMPOSE ALL SUCH UTILITIES IN THE AREA, EITHER IN SERVICE OR ABANDONED. THE SURVEYOR FURTHER DOES NOT WARRANT THAT THE UNDERGROUND UTILITIES SHOWN ARE IN THE EXACT POSITION INDICATED, ALTHOUGH HE DOES STATE THAT THEY ARE LOCATED AS ACCURATELY AS POSSIBLE FROM THE INFORMATION MADE AVAILABLE TO HIM. BEFORE DIGGING, CONTACT EACH UTILITY ENTITY SO THAT THEY MAY MARK THEIR LOCATIONS ON THE GROUND.



Dominion
Engineering Associates, L.C.
5684 South Green Street
Murray, Utah 84123 801-713-3000

GENERAL NOTES

1. ALL WORK PERFORMED WITHIN THE CITY OF CEDAR HILLS RIGHT-OF-WAY SHALL BE IN ACCORDANCE WITH THEIR STANDARDS AND SPECIFICATIONS.
2. BASES, ANCHOR BOLTS, CONDUIT, AND WIRING FOR ALL SIGNS ARE BY THE GENERAL CONTRACTOR. McDONALD'S ROAD SIGN AND BASE ARE BY THE SIGN CONTRACTOR. FLAGPOLE ANCHOR BOLTS ARE BY McDONALD'S. ALL SIGNAGE SHALL COMPLY WITH THE REQUIREMENTS OF THE CITY OF CEDAR HILLS CODE.
3. GENERAL CONTRACTOR TO PROVIDE CONCRETE BASES, CONDUIT & WIRE AS REQUIRED FOR LOT LIGHTS SHOW. McDONALD'S TO PROVIDE ONLY ANCHOR BOLTS, POLES & LOT LIGHT FIXTURES. REMAINDER BY GENERAL CONTRACTOR.
4. ALL RAIN ARE TO THE TOP BACK OF CURB (8") UNLESS OTHERWISE NOTED. VERIFY IN FIELD (VLF) ALL DIMENSIONS. RESOLVE ANY DISCREPANCIES WITH McDONALD'S PROJECT MANAGER PRIOR TO COMMENCING WORK.
5. PROPOSED UTILITIES ARE SHOWN IN SCHEMATIC ONLY. EXACT LOCATIONS SHALL BE DETERMINED TO ALLOW FOR THE MOST ECONOMICAL INSTALLATION.
6. THE CONTRACTOR SHALL COORDINATE WITH ALL UTILITY COMPANIES TO DETERMINE EXIST POINT OF SERVICE CONNECTION AT EXISTING UTILITY. REFER TO THE BUILDING ELECTRICAL, AND PLUMBING DRAWINGS FOR UTILITY SERVICE ENTRANCE LOCATIONS, SIZES, AND CIRCUITING. GENERAL CONTRACTOR RESPONSIBLE TO OBTAIN ALL REQUIREMENTS OF UTILITY COMPANIES AND INCLUDE IN BASE BID ASSOCIATED COSTS.
7. ALL ELEVATIONS SHOWN ARE IN REFERENCE TO THE BENCHMARK AND MUST BE VERIFIED BY THE GENERAL CONTRACTOR AT GROUNDBREAK. FINISH FLOOR ELEVATION IS AS NOTED ON GRADING AND DRAINAGE PLAN.
8. GENERAL CONTRACTOR IS RESPONSIBLE FOR COMPLIANCE WITH ALL REQUIREMENTS OF THE "AMERICANS WITH DISABILITIES ACT" (ADA).
9. ALL 6" CONCRETE VERTICAL CURBS SHALL BE Poured MONOLITHICALLY WITH CONCRETE PAVEMENT. FINISH WALK AND CURB ELEVATIONS SHALL BE 6" ABOVE FINISH PAVEMENT UNLESS NOTED OTHERWISE.
10. GENERAL CONTRACTOR TO PLACE CONCRETE CONSTRUCTION JOINTS AS NEEDED WITH MAXIMUM AREA OF 400 SQ. FT. (CARCET FELT SHALL NOT BE USED).
11. GENERAL CONTRACTOR TO PROVIDE SAWCUT JOINTS IN CONC. PAVEMENT IN ACCORDANCE WITH ALL STANDARDS. JOINTS SHALL BE PLACED SUCH THAT THE MAXIMUM SIZE OF CONCRETE SLAB IS 120 SF; AND THE RATIO OF THE SIDES IS NO MORE THAN 2:1.
12. COORDINATE ALL DRIVE-UP STRIPING AND MARKINGS WITH McDONALD'S PROJECT MANAGER.
13. CONTRACTOR TO FIELD VERIFY LOCATIONS OF EXISTING MANHOLES AND OTHER UTILITIES BEFORE STAKING OR BUILDING ANY SEWER.
14. ALL CONSTRUCTION SHALL COMPLY WITH CITY OF CEDAR HILLS WATER COMPANY CULINARY WATER AND/OR SANITARY SEWER SYSTEM EXTENSION AGREEMENT WITH SPECIFICATIONS, DOCUMENTATION, TYPICAL DETAILS AND FORMS.
15. LOT LIGHTING CONC. FOOTINGS TO CONFORM WITH THE SOILS REPORT RECOMMENDATIONS FOR THIS PARTICULAR SITE, OR AS DIRECTED BY McDONALD'S.
16. ALL LANDSCAPE AREAS SHALL BE ROUGH GRADED TO 6" BELOW TOP OF ALL WALKS AND CURBS. FINISH GRADING, LANDSCAPING, AND SPRINKLER SYSTEMS ARE BY THE OWNER/OPERATOR.

PAVING SPECIFICATION FOR McDONALD'S SITE

ASPHALT:
COMPACTION: 3." A.C. (2 LIFTS) 96% MARSHALL
6" BASE COURSE 95% PROCTOR
12" REWORKED EXISTING GRANULAR FILL
OIL CONTENT: 4.5% - 6.0%
STABILITY: 100 LBS. MIN.
GRADATION EXTRACTION: 55% MAX. SHALL PASS U.S.
STD. #4 SIEVE.

CONCRETE: 6" CONCRETE
6" BASE COURSE 95% PROCTOR
12" REWORKED EXISTING GRANULAR FILL

NOTES:

1. McDONALD'S ENGINEER RESERVES THE RIGHT TO REQUEST A COMPACTION TEST AND/OR A CORE SAMPLE. IF TESTS PROVE CORRECT, PER ABOVE SPECIFICATION, TESTS WILL BE AT THE EXPENSE OF McDONALD'S, OTHERWISE, G.C. WILL BE CHARGED.
2. SEE SOILS REPORT BY INTERMOUNTAIN GeoENVIRONMENTAL SERVICES INC.,

LOT LIGHTING RECOMMENDATION

SECURITY LIGHTING SYSTEMS
3477 WEST TOUHY AVENUE
LINCOLNWOOD, IL 60645
1-800-544-4848
ASB1000-MH-DB-MT WITH
1000 WATT METAL HALIDE LAMP

NOTE: ELECTRICAL CONTRACTOR TO CIRCUIT LOT LIGHTING AS NOTED.

PARKING INFORMATION (EXISTING)

TOTAL SPACES NA	-	H.C.	SPACES	9'-0" X 18'-6" @ 60°
	-		SPACES	9'-0" X 18'-0" @ 60°
	-		SPACES	9'-0" X 18'-0" @ 90°

PARKING INFORMATION (PROPOSED)

TOTAL SPACES 32	2	H.C.	SPACES	9'-0" X 20'-0" @ 90°
	7		SPACES	9'-0" X 20'-0" @ 90°
	23		SPACES	9'-0" X 18'-0" @ 90

SURVEY INFORMATION

PREPARED BY: DOMINION ENGINEERING
5684 SOUTH GREEN STREET
-MURRAY, UTAH 84123
801-713-3000

DATE: JULY, 2009

LEGEND

EXIST. TELEPHONE	EXIST. UNDERGROUND POWER
EXIST. GAS LINE	EXIST. WATER VALVE
EXIST. WATER	EXIST. FIRE HYDRANT
EXIST. IRRIGATION PIPE	
EXIST. OVERHEAD POWER	

PLAN SCALE: 1" = 20'

STREET ADDRESS
LOT 1 - CEDAR HILLS RETAIL SUBDIVISION
4800 WEST STREET & WEST CEDAR HILLS DRIVE

CITY	STATE
CEDAR HILLS	UTAH

COUNTY
UTAH

REGIONAL DWG. NO.

CORPORATE DWG. NO.

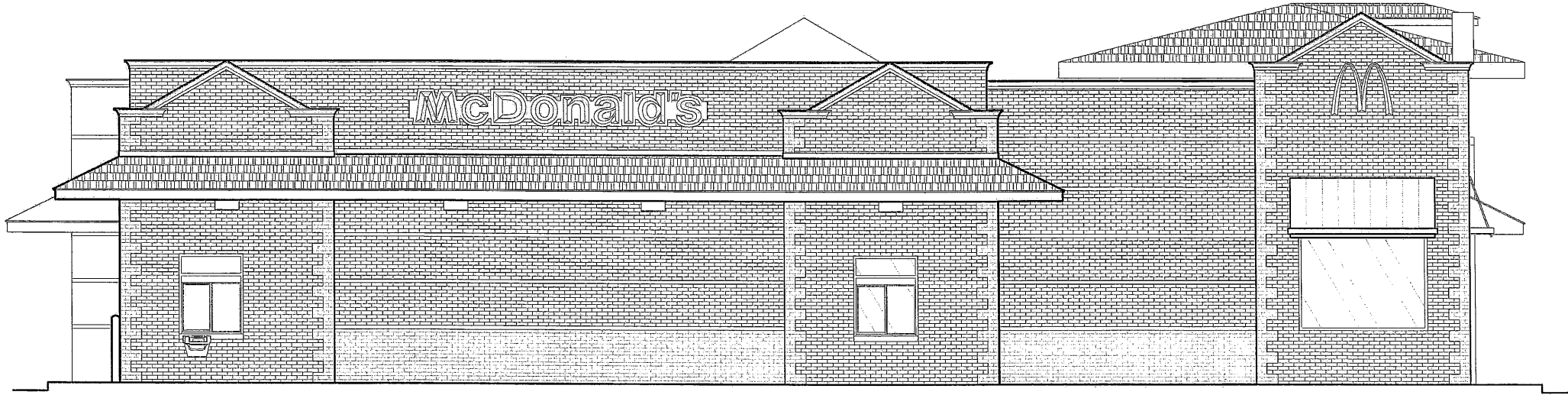
EC-1

Job # 1575
P:\McDONALDS\utah\Cedar Hills\EC-1 Erosion Control Plan.dwg
12/2/09
PLOT SCALE: 1=20

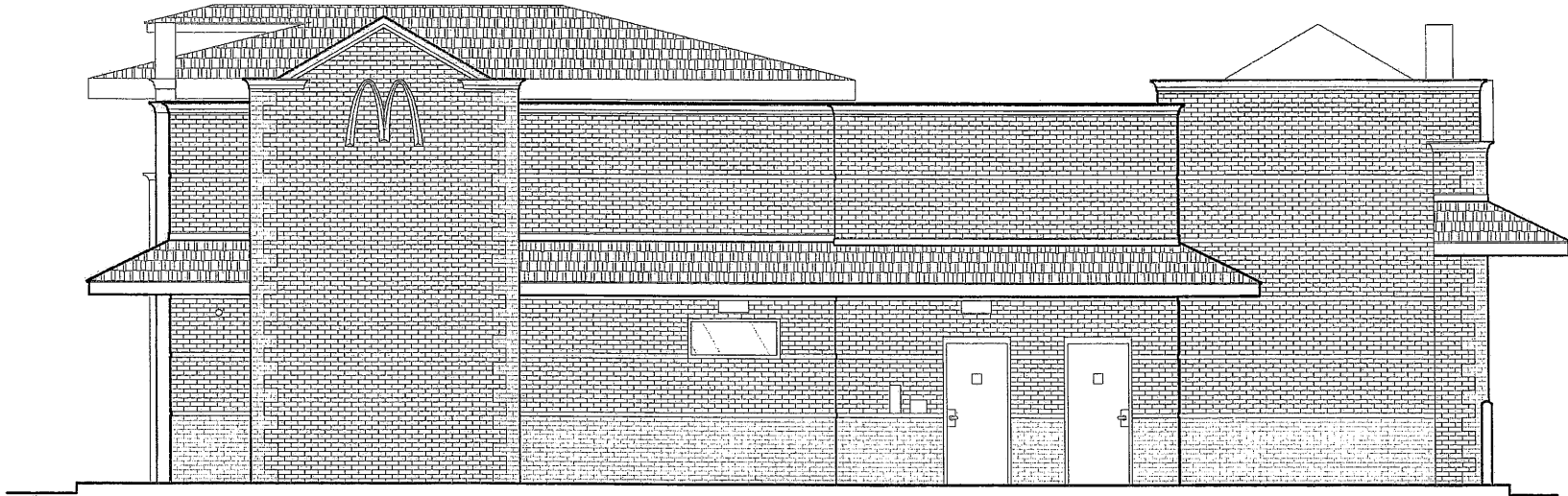
12/2/09

365 # 1373
P: \McDONALDS\utah\Cedar Hills\EC-1 Erosion Control Plan.dwg


SHEET NO. A2.0 ELEVATIONS	TITLE 2009 STANDARD BUILDING 6487 - WOOD/WOOD DESCRIPTION WOOD BEARING WALLS W/4" BRICK EXTERIOR FINISH WOOD ROOF TRUSS FRAMING EXTERIOR FINISH ARCADE/ENTRY	DRAWN BY --- STD ISSUE DATE MARCH 2009 REVIEWED BY TCM DATE ISSUED ---	PREPARED FOR M. McDonald's USA, LLC These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be reproduced or used for any other project without the express written consent of McDonald's USA, LLC. The contract documents were prepared by McDonald's USA, LLC and shall be used in conjunction with the final date and are not to be used for any other project without the express written consent of McDonald's USA, LLC. All contract documents for these drawings for reference or example on another project requires the services of properly licensed architect and engineer. McDonald's USA, LLC and its subsidiaries and affiliates do not warrant or make any representation or statements for reuse on another project is not authorized.	PREPARED BY:	REV	DATE	BY

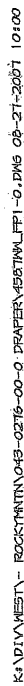


2 DRIVE THRU ELEVATION
1/4" = 1'-0"



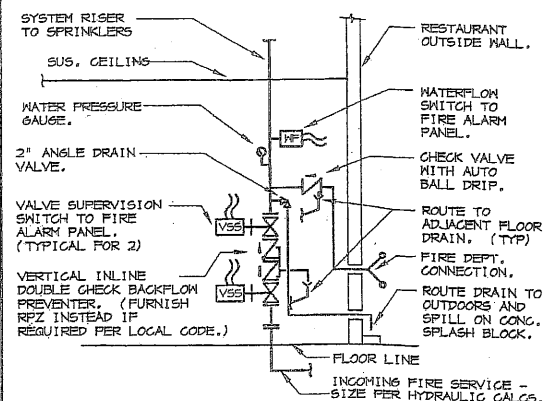
1 REAR ELEVATION
1/4" = 1'-0"

SHEET NO.	TITLE	DRAWN BY --	STD. ISSUE DATE MARCH 2009	REVIEWED BY TOM	DATE ISSUED X	PREPARED FOR:  McDonald's USA, LLC <small>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. In the contract documents were prepared for the use of the project shown on these drawings. These drawings are not suitable for use on a different site or at a later time. Use of these drawings for reference or example on another project without the written consent of McDonald's USA, LLC is prohibited. The contract documents for reuse on another project is not authorized.</small>	PREPARED BY: © 2009 McDonald's USA, LLC																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																																											
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SPRINKLER NOTES

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FOR
REFERENCE
ONLY

SHEET NO. 10	TITLE 2007 STANDARD BUILDING 7046-WOOD/WOOD	DRAWN BY TP	STP ISSUE DATE AUG 2007	DESIGNED BY J. SOXAKWELL	DATE ISSUED AUG 2007	SHEET ID 010-0316-00-0	SITE ID 010-0316-00-0	SITE ADDRESS CLAYTON STONE, EXTERIOR FINISH, ACAD/ENTRY	FIRE PROTECTION	PREPARED FOR: M. McDonald's USA, LLC	<p>These drawings and specifications are the confidential and proprietary property of McDonald's USA, LLC and shall not be copied or reproduced without written authorization. The contract documents were prepared for the use of the project described herein and are not to be used for any other project. The use of these drawings for reference on another project requires the written approval of McDonald's USA, LLC. The use of these contract documents for any other project is not authorized.</p>	<p>2111 McDonald's Drive Oakbrook, IL 60521</p> <p>Registered Professional Engineer</p> <p>Francis J. Kohout</p>		PREPARED BY:	REV	DATE	DESCRIPTION	BY



CITY OF CEDAR HILLS

TO:	Mayor and City Council
FROM:	Konrad Hildebrandt, City Manager
DATE:	12/8/2009

City Council
Agenda Item

SUBJECT:	The Cedars Townhomes Park
APPLICANT PRESENTATION:	Mr. Roland Brown, HOA President
STAFF PRESENTATION:	Konrad Hildebrandt, City Manager
BACKGROUND AND FINDINGS: Please find enclosed elevation renderings and a proforma financial for the proposed Cedar's Townhomes Park. As a City () we said that we would help out the creation of a park at the tune of \$20,000. This is not on our Park Development Impact Fee schedule, but would allow for additional park acreage in our goal for 5.5 acres per 1000 residents. The park is to be constructed at the landslide site. This property has recently been deeded by the developer to the HOA. Mr. Roland Brown, HOA President, will be here to discuss this proposed park and undoubtedly request some type of city participation in the development.	
PREVIOUS LEGISLATIVE ACTION: NONE	
FISCAL IMPACT: \$88,210 over three years	
SUPPORTING DOCUMENTS: Pro Forma and elevations	
RECOMMENDATION: Staff recommends that the City Council review and take appropriate action toward this park development	
MOTION: The City Council, by motion, take action on this item.	

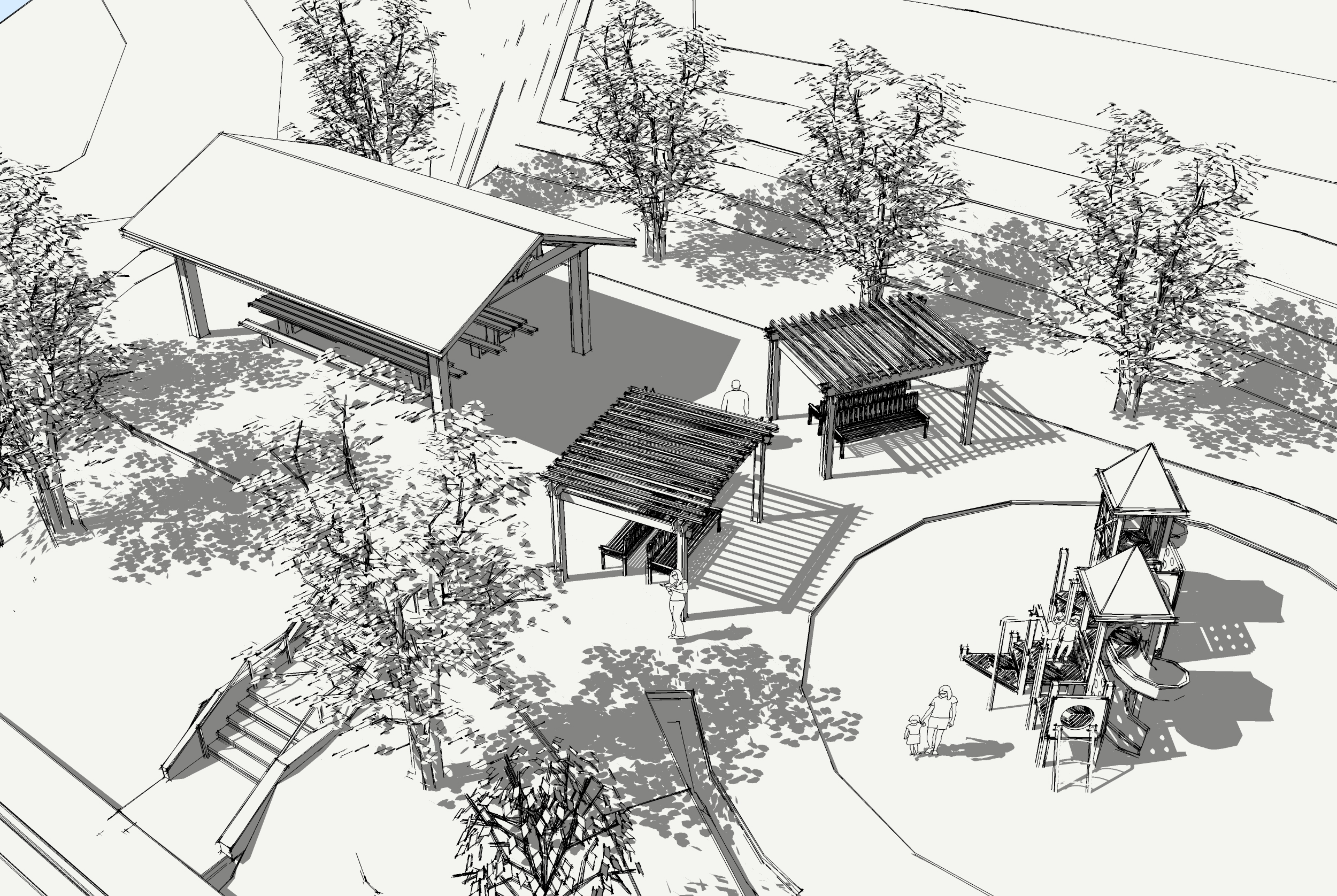
Cost Breakdown And Phasing for Cedars Townhomes Neighborhood Park

Description	Cost		2010		2011		2012	
Exacavation and Rock Wall	\$ 17,000.00		100%	\$17,000.00				
Concrete Work	\$ 11,680.00		60%	\$7,008.00	40%	\$4,672.00		
Playground Equipment (Allowance)	\$ 15,000.00		100%	\$15,000.00				
Park Benches (see attached picture)	\$ 3,024.00				100%	\$3,024.00		
Picnic Tables (see attached picture)	\$ 2,360.00						100%	\$2,360.00
BBQ (see attached picture)	\$ 851.00						100%	\$851.00
Landscaping - Trees, Sod, and Mulch at Playground	\$ 9,475.00		20%	\$1,895.00	80%	\$7,580.00		
Pavilion Framing, Roofing, and Soffit	\$ 13,800.00						100%	\$13,800.00
Cedar Wood Trellis	\$ 7,520.00						100%	\$7,520.00
General Conditions and Supervision	\$ 3,500.00		50%	\$1,750.00	25%	\$875.00	25%	\$875.00
Profit and Overhead	\$ 4,000.00		50%	\$2,000.00	25%	\$500.00	25%	\$500.00
Total	\$ 88,210.00		48%	\$44,653.00	20%	\$16,651.00	32%	\$25,906.00

Original Cost Prepared by: KNP Construction - July 23 2008

Comments:
Could possibly change the playground equipment to 2011







CITY OF CEDAR HILLS

TO: Mayor McGee, City Council, and Staff
FROM: Greg Robinson, Assistant City Manager
DATE: December 4, 2009

City Council Memorandum

SUBJECT: Park Reservation Policies and Fees
APPLICANT PRESENTATION:
STAFF PRESENTATION: Greg Robinson, Assistant City Manager

BACKGROUND AND FINDINGS:

Staff has reviewed and amended the City's park reservation policies and prepared a resolution for adoption. Staff feels the new policies will assist in keeping the City's parks clean and minimizing park damage.

PREVIOUS LEGISLATIVE ACTION:

- Resolution 4-21-98C

FISCAL IMPACT:

SUPPORTING DOCUMENTS:

- Proposed resolution

RECOMMENDATION

To approve the resolution with any amendments.

MOTION

To approve Resolution No. _____, a resolution setting park reservation policies and fees.

A RESOLUTION SETTING PARK RESERVATION FEES AND POLICIES

WHEREAS, Section 10-3-717, Utah Code, Annotated, authorizes Towns to establish the amount of fees to be charged for municipal services to be set by resolution; and

WHEREAS, The Town of Cedar Hills desires to set reservation policies and fees related thereto in order to provide benefit for citizens while preserving the high quality of park facilities.

NOW THEREFORE, be it resolved by the Town Council of Cedar Hills, Utah:

Part I

Reservation Policies

1. Reservations are taken on Park Pavilions, Park Amphitheater, and Park Volleyball court only.
2. Reservations are to be made for times during regular park hours (dawn to dusk).
3. Reservations must be paid for in full at least 1 week prior to the reserved date. If a reservation is made within 1 week from the reserved date, the fee must be paid in full at the time of reservation.
4. Reservations may be fully refunded if the Town is informed of cancellation at least 72 hours in advance.
5. Reservations are made in 1 hour increments.
6. Park facilities are expected to be kept clean by users at all times.

Part II

Reservation Fees

1. Residential fees - \$4 fee charged for each park facility reserved per hour that it is reserved.
2. Non-residential fees - \$8 fee charged for each park facility reserved.

Part III

Exceptions

The Mayor is hereby authorized to waive any and all requirements regarding reservation policies and/or reservation fees upon written request by applicant.

Part IV

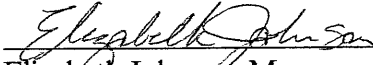
All resolutions or parts thereof in conflict herewith are hereby repealed.

Part V

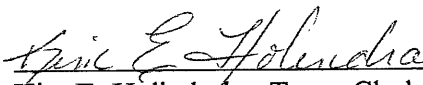
This resolution shall take effect upon its passage and recording.

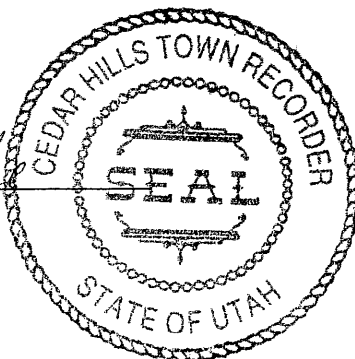
PASSED AND ORDERED RECORDED BY THE TOWN COUNCIL OF CEDAR HILLS, UTAH,
THIS 21st DAY OF April, 1998.

APPROVED:


Elizabeth Johnson, Mayor

ATTEST:


Kim E. Holindrake, Town Clerk



RESOLUTION NO. _____

A RESOLUTION SETTING PARK RESERVATION POLICIES AND FEES.

WHEREAS, the City of Cedar Hills desires to set reservation policies in order to provide benefits for citizens while preserving the high quality of park facilities, and

WHEREAS, UCA 10-3-717 authorizes Cities to establish the amount of fees to be charged for municipal services to be set by resolution; and

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILLS, UTAH, as follows:

**Section 1.
Rules for Park Facility Usage**

RESERVATION RULES

- Parks can be reserved between April 15th and October 15th; all other months are first-come, first served. Some dates may not be available due to City events.
- Reservations may be made for times during regular park hours. Reservations begin with a minimum of one (1) hour and are then scheduled in hourly increments. Park hours are from dawn until dusk.
- To check for available dates, go to www.cedarhills.org.
- Only facilities and venues listed on the reverse side of this form may be reserved.
- Parks are heavily used during the summer months, so please be courteous of other reservations and begin and end your event promptly. Users should allow for set-up and clean-up time during their reservation block.
- Reservations may be voided if rules and regulations are not followed.
- Have a copy of your approved reservation application with you at your event.
- The City of Cedar Hills is not liable for any injury or consequence of park usage.
- The City parks are mowed at least once weekly. Your group may be asked to accommodate these activities.
- Large groups (in excess of 200) or groups with unusual requests will contact the City for special arrangements. Groups playing music must conform to Cedar Hills' noise ordinances.

FACILITY RULES

- Picnic tables are not to be removed from the pavilion.
- Play areas and surrounding grass open areas are open to the public and must remain accessible.
- Power capabilities are 15 amps per outlet. Staff may not be available to reset overloaded breakers.

Resolution No.
Park Reservation Policies and Fees

GENERAL PARK RULES

- Private vehicles are NOT allowed on the park grass or the asphalt paths. Vehicles are not to leave the parking areas.
- Pets are welcome in the park area if they are on a leash. Owners are responsible to remove any waste left behind.
- Water features, culverts and streams may be present on park property. Individuals entering the water do so at their own risk. Creek water is overflow irrigation, so flow will fluctuate based on usage demands. Water may not always be in the creek during park usage months.
- Adult supervision is required at all times.
- No alcoholic beverages or tobacco usage are allowed in the parks.
- Trash and debris are to be placed in garbage containers.
- Any equipment or amenities (inflatables, tents, sound systems, water slides) must be pre-approved by a City representative. A refundable deposit of \$500 and proof of insurance is required.
- Overnight camping and/or open fires are not allowed at any time in any City park or surrounding area.
- Commercial use of the City park must be approved by a City representative and may require additional fees and acquisition of appropriate permits, licenses and liability waivers.

GENERAL PARK CONDITIONS

- Cedar Hills takes great pride in its beautiful parks and trails. We ask that you care for them properly.
- The City checks the park facilities daily to ensure that the restrooms are cleaned/stocked and that the grounds are maintained in good condition.
- Damage beyond normal usage and vandalism to the park facilities will not be tolerated.

Section 2. Reservation Fees

Reservation fees shall be according to the City's Fees, Bonds, and Fines Schedule.

Section 3. Exceptions

The City Manager is hereby authorized to waive any and all requirements regarding reservation policies and/or reservation fees upon written request by applicant.

Section 4.
Resolutions Repealed and Severability

Resolution 4-21-98C is hereby repealed.

If any section, sentence, clause, or phrase of this resolution is held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not effect the validity or constitutionality of any other section, sentence, clause, or phrase of this resolution.

ADOPTED, RESOLVED, and ORDERED, by the City Council of the City of Cedar Hills this 8th day of December 2009.

Michael C. McGee, Mayor

ATTEST:

Kim E. Holindrake, City Recorder



CITY OF CEDAR HILLS

TO: Mayor McGee, City Council, and Staff
FROM: Kim E. Holindrake, City Recorder
DATE: December 1, 2009

City Council Memorandum

SUBJECT: Fee Schedule
APPLICANT PRESENTATION:
STAFF PRESENTATION: Kim E. Holindrake

BACKGROUND AND FINDINGS:

Staff proposes changing the fee for a park refund to \$16 to cover the actual administrative costs. Also when the sewer rates changed in June, the non-resident sewer rate was not amended. The current average resident sewer rate is \$28.65. The non-resident sewer rate is double the average resident sewer rate and needs to be amended to \$57.30.

PREVIOUS LEGISLATIVE ACTION:

FISCAL IMPACT:

SUPPORTING DOCUMENTS:

- Proposed Resolution

RECOMMENDATION

To adopt the proposed resolution.

MOTION

To adopt Resolution No. _____, a resolution adding, amending, or deleting certain fees to the official Fees, Bonds, and Fines Schedule of the City of Cedar Hills, Utah.

RESOLUTION NO. _____

A RESOLUTION ADDING, AMENDING, OR DELETING CERTAIN FEES TO THE OFFICIAL FEES, BONDS, AND FINES SCHEDULE OF THE CITY OF CEDAR HILLS, UTAH.

WHEREAS, the City has enacted various ordinances and fee resolutions setting certain fees for the City; and

WHEREAS, the City Council desires to provide an updated schedule of all City fees; and

WHEREAS, the purpose of this resolution is to add, amend or delete certain fees on the fee schedule.

NOW, THEREFORE, BE IT RESOLVED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILLS, UTAH, as follows:

**Section 1
Adoption**

Pursuant to the provisions of Section 10-3-717 UCA, 1953, as amended, the City Council hereby adopts the schedule of fees for certain municipal services provided by the City as set forth under Attachment A, which is attached hereto and by this reference made part of this Resolution.

Specific fees to be added and/or amended are as follows:

Fee Type	Current Fee	Amended/Added Fee
Sewer - Nonresident	\$44.88	\$57.30
Park - Reservation Refund	\$8.00	\$16.00

**Section 2
Update/Adjustment of Fees**

1. Any subsequent fee resolutions for any or all of the fees contained within this fee schedule shall have the effect of updating and/or adjusting the fee schedule accordingly.
2. Any adjustment that is needed for those fees not created by a separate fee resolution shall be accomplished only by amending or repealing this resolution and adoption of a new fee resolution.

Section 3
Severability

If any section, sentence, clause, or phrase of this resolution is held to be invalid or unconstitutional by a court of competent jurisdiction, such invalidity or unconstitutionality shall not effect the validity or constitutionality of any other section, sentence, clause, or phrase of this resolution.

All resolutions or policies in conflict herewith are hereby repealed.

PASSED AND APPROVED THIS 8TH DAY OF DECEMBER, 2009.

Michael C. McGee, Mayor

ATTEST:

Kim E. Holindrake, City Recorder

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>	<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
New Construction Fees			
Construction Water Fee	\$150.00	Building Permit	
Water Meter & Installation	\$375.00	Building Permit	Resolution 6-21-2005A
Water Lateral Inspection	\$75.00	Building Permit	Resolution 4-18-2006C
Sewer Lateral Inspection	\$75.00	Building Permit	Resolution 4-18-2006C
Gas Line Inspection	\$35.00	Building Permit	
Pressurized Irrigation Infrastructure	\$9.95 x 42 months = \$417.90 (1-1-04 to 7-1-07) plus \$11.95 x 20 months = \$239.00 (7-1-07 to 3-1-09) plus \$15.95 x # of months beginning 3-1-09	Building Permit	Resolution 2-3-2009A
Commercial/Industrial Plan Check	Based on valuation	Building Permit	International Building Code
Residential Plan Check	Based on valuation	Building Permit	International Building Code
Building Permit	Based on valuation	Building Permit	International Building Code
Plumbing Permit	\$35.00	Building Permit	Resolution 6-21-2005A
Mechanical Permit	\$35.00	Building Permit	Resolution 6-21-2005A
Electrical Permit	\$35.00	Building Permit	Resolution 6-21-2005A
Building w/no Permit	\$100 initial (2 week grace, then \$100 per day)		Resolution 6-21-2005A
1% State Fee	1% of Building Permit	Building Permit	International Building Code
Re-inspection Fee	\$100.00	Prior to Re-inspect	Resolution 9-20-2005A
Refundable Improvement Bond	\$1,000.00	Building Permit	
Landscape Installation Bond	\$2,000.00	Building Permit	Resolution 12-12-2007B
Non-Participating Subdivision			
Water Line	\$5/Lineal Foot	Building Permit	
Sewer Line	\$4/Lineal Foot	Building Permit	
Sidewalk	\$15/Lineal Foot	Building Permit	
Street Excavation/Cut Permit	\$75.00	at Application	Resolution 9-20-2005A
Street Excavation/Cut Without Permit	\$500.00	Per Day	Resolution 9-20-2005A
Engineering/Public Works Inspection	Actual Cost	During Development	
Staging in the Street	\$100 initial (2 week grace, then \$100 per day)		
Fee in Lieu of Property Tax	Residential Properties: Assessed Value (55% of market value) x Certified Tax Rate x Percent of Year Remaining Other Types of Properties: Property Value x Certified Tax Rate x Percent of Year Remaining	Building Permit	Resolution 4-18-2006C
		Building Permit	Resolution 4-18-2006C

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>	<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
Impact Fees			
Park Development Single Family	\$1,170.00	Building Permit	Resolution 8-21-2007C
Park Development Multi Family - Per Unit	\$1,185.00	Building Permit	Resolution 8-21-2007C
Park Land Single Family	\$4,378.00	Building Permit/Plat Recording	Resolution 8-21-2007C
Park Land Multi Family - Per Unit	\$4,437.00	Plat Recording	Resolution 8-21-2007C
Recreation Facilities	\$1,640.00	Building Permit	Resolution 6-6-2000C
Culinary Water - Lower Pressure Zone	\$1,661.00	Building Permit/Plat Recording	Resolution 4-17-2007B
Culinary Water - Upper Pressure Zone	\$2,167.00	Building Permit/Plat Recording	Resolution 4-17-2007B
Public Safety - Residential Per Unit	\$537.00	Building Permit	Resolution 7-17-2007B
Public Safety - Commercial Per 1,000 Unit	\$246.00	Building Permit	Resolution 7-17-2007B
Public Safety - Nursing Homes	\$2,430.00	Building Permit	Resolution 7-17-2007B
Public Safety - Big Box Retail	\$700.00	Building Permit	Resolution 7-17-2007B
Wastewater (TSSD)	\$3,120.00	Building Permit	Per TSSD
Wastewater (Cedar Hills)			
80 Rod Ditch	\$92.00	Building Permit	Resolution 4-7-98C
South Aqueduct	\$586.00	Building Permit	Resolution 4-7-98C
Roadway (Streets)	\$1,314.00	Building Permit	Resolution 4-17-2007B
Land Use Application Fees-Non Refundable			
General Plan Amendment	\$450.00	at Application	Resolution 5-6-2008A
Zoning Map or Ordinance Change	\$450.00	at Application	
Concurrent General Plan and Zone Change	\$650.00	at Application	
Conditional Use	\$150.00	at Application	
Appeal (City Council)	No Charge	at Application	
Board of Adjustment	\$100.00	at Application	
Relief Petition (Watershare Adjustment)	\$250.00	at Application	
Reimbursement Agreement	\$500.00	at Application	
Development Fees			
Site Plan Review	\$100.00	at Application	Resolution 4-18-2006C
Concept Plan	\$150 + \$15/lot	at Application	
Preliminary Plan	\$300 + \$30/lot	at Application	
Final Plan (or Site Plan approval)	\$200 + \$20/lot	at Application	
Minor Subdivision (1 or 2 lots)	\$200 + \$20/lot	at Application	
Improvement Bond	125% of Imp. Cost	Prior to Recording	Resolution 9-5-2006A Resolution 5-6-2008A
Recording Fee	Per Utah County	Prior to Recording	
Annexation	\$250.00	at Application	
Release of Building Setback	\$100.00	at Application	

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>		<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
Utility Fees				
Water (No PI Available)	Base Rate (no usage)	\$6.00	Per Month	Resolution 6-19-2007A
	1-10,000	\$1.25	Per 1,000 gallons	Resolution 6-19-2007A
	10,001-12,000	\$2.00	Per 1,000 gallons	Resolution 6-19-2007A
	12,001-18,000	\$2.50	Per 1,000 gallons	Resolution 6-19-2007A
	18,000+	\$1.50	Per 1,000 gallons	Resolution 6-19-2007A
Water (PI Available)	Base Rate (no usage)	\$6.00	Per Month	Resolution 6-19-2007A
	1-10,000	\$1.25	Per 1,000 gallons	Resolution 6-19-2007A
	10,001-12,000	\$2.00	Per 1,000 gallons	Resolution 6-19-2007A
	12,001-18,000	\$3.00	Per 1,000 gallons	Resolution 6-19-2007A
	18001+	\$4.00	Per 1,000 gallons	Resolution 6-19-2007A
Water (PI Not Connected)	Base Rate (no usage)	\$6.00	Per Month	Resolution 6-19-2007A
	1-6,000	\$2.00	Per 1,000 gallons	Resolution 6-19-2007A
	6,001-12,000	\$3.00	Per 1,000 gallons	Resolution 6-19-2007A
	12,001-18,000	\$4.00	Per 1,000 gallons	Resolution 6-19-2007A
	18001+	\$5.00	Per 1,000 gallons	Resolution 6-19-2007A
Sewer	Base Rate	\$10.65	Per Month	Resolution 6-16-2009A
	Per 1,000 gal over base	\$2.25	(winter water usage)	Resolution 6-16-2009A
Sewer - Nonresident	Double average resident rate	was \$44.88 change \$57.30	Per Month	Resolution 12-12-2007B
Sewer - Nonresident	Beginning 1-1-2008 if no Boundary Adjustment or Disconnection/Annexation documentation is filed with the City of Cedar Hills and other municipality.	4 x Cedar Hills Resident Rate	Per Month	Resolution 10-2-2007C
Sewer - Nonresident	Beginning 7-1-2008 if the Boundary Adjustment or Disconnection/Annexation is not complete between the City of Cedar Hills and other municipality.	8 x Cedar Hills Resident Rate	Per Month	Resolution 10-2-2007C
Garbage	1 Toter	\$10.92	Per Month	Resolution 6-16-2009A
	Each Additional Toter	\$7.13	Per Month/min. 6 mths	Resolution 6-16-2009A
Storm Drain/Flood Control		\$5.75	Per Month	Resolution 2-19-2008B
Central Utah Water Conservancy (CUP)		\$4.95	Per Month	Resolution 6-19-2007A
Pressurized Irrigation	Base Rate	\$15.95	(Begins 3-1-2009)	Resolution 2-3-2009A
(Add to base rate)	Lot Size-1/4 acre or less	\$12.05	Per Month	Resolution 4-15-2003A
	1/4 acre to 1/3 acre	\$16.05	Per Month	Resolution 4-15-2003A
	1/3 acre to 1/2 acre	\$19.05	Per Month	Resolution 4-15-2003A
	Large Water Users determined by City		Per Month	Resolution 4-15-2003A
Recycling	1 Toter	\$4.79	Per Month/min. 6 mths	Resolution 6-16-2009A
	Each Additional Toter	\$2.24	Per Month/min. 6 mths	Resolution 6-16-2009A

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>	<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
Set-up Fee	\$50.00	Per Account	Resolution 6-18-2002A
ACH NSF	\$15.00		Resolution 6-21-2005A

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>		<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
Penalty Fees/Fines				
Reset Water Meter		\$1,000.00	Prior to Reset	
Utility Disconnection	1st Offense	\$50.00	Prior to Reconnect	Resolution 4-17-2007B
	2nd Offense	\$75.00	Prior to Reconnect	Resolution 4-17-2007B
	3rd Offense + each offense thereafter	\$100.00	Prior to Reconnect	Resolution 4-17-2007B
Landscape Installation Fine	Offenses 1-12	\$50.00	Per Month	Resolution 9-5-2006A
	Offenses 13 +	\$100.00	Per Month after 12 Months	
Landscape Watering Fine	1st Offense	No Charge		Resolution 4-18-2006C
	2nd Offense + each offense thereafter	\$50.00		
Motor Vehicle Trespass	1st Offense	\$50.00		Resolution 12-12-2007B
	2nd Offense	\$250.00		
	3rd Offense + each offense thereafter	\$750.00		
Parking Violations Fine		\$35.00	Per Occurrence	Resolution 8-19-2008A
Special Events				
Special Event Permit		\$100.00	Per Application	Resolution 8-25-2009A
Additional Fees	American Fork Police	Per Direct Costs	Per Event	Resolution 8-25-2009A
	Lone Peak Public Safety District	Per Direct Costs	Per Event	Resolution 8-25-2009A
	City of Cedar Hills	Per Direct Costs	Per Event	Resolution 8-25-2009A
Certificate of Insurance	Minimum Limits - Injury or death for one person in any one occurrence.	\$250,000.00	Per Event	Resolution 8-25-2009A
	Minimum Limits - Injury or death for two or more persons in any one occurrence.	\$500,000.00	Per Event	Resolution 8-25-2009A
	Minimum Limits - Property damage in any one occurrence.	\$100,000.00	Per Event	Resolution 8-25-2009A

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>		<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
Business Licensing				
Commercial	Base	\$75.00	Per Year	Resolution 12-9-2008A
	Building and Fire Inspection	\$60.00	Per Year	Resolution 12-9-2008A
	Additional Per Employee	\$10.00	Per Year	Resolution 6-18-2002A
Beer License - Class "A"	Beer sold in original containers, to be consumed off the premises, such as grocery stores and convenience stores.	\$190.00	Per Year	Resolution 12-9-2008A
Beer License - Class "B"	Beer to be consumed on the premises, not to exceed 30% of gross sales, such as restaurants.	\$150.00	Per Year	Resolution 12-9-2008A
Beer License - Class "C"	Beer to be consumed on the premises, for customers over 21 years of age, such as taverns and beer bars.	\$213.00	Per Year	Resolution 12-9-2008A
Beer License - Class "D"	Special events for bona fide corporations, churches, political organizations, associations or a subordinate lodge, chapter, convention, civic or community enterprise, non-profit fundraiser.	\$150.00	Per Year	Resolution 12-9-2008A
Liquor Consumption License	Consumption of liquor on the premises such as restaurants.	\$16.00	Per Year	Resolution 12-9-2008A
Bond - Sexually Oriented Business		\$20,000.00	at Application	Resolution 8-19-2008A
Residential				
Home/Premises/Peddler/Vendor/Solicitor	Base (Exempt: Home/Premises - Non-Impact)	\$55.00	Per Year	Resolution 8-18-2009A
Home/Premises: Non-Impact	Annual	\$20.00 (No Base)	Per Year	Resolution 8-18-2009A
Home/Premises: Low Impact	Annual	Base plus \$10	Per Year	Resolution 8-18-2009A
Home/Premises: Moderate Impact	Annual	Base plus \$70	Per Year	Resolution 8-18-2009A
Home/Premises: High Impact	Annual	Base plus \$260	Per Year	Resolution 8-18-2009A
Vendors	Annual	Base plus \$10.00	Per Year	Resolution 8-25-2009A
Solicitation (door-to-door), Peddlers	Annual	Base + \$15 + \$5 per badge	Per Year	Resolution 8-25-2009A
Inspection Fee	One reinspection allowed, then charged fee each time thereafter	\$25.00		Resolution 2-20-2007A
Other Fees				
Late Fee	(30-day grace period)	\$10.00	Per Month	Resolution 4-18-2006C
Replacement/Duplicate License		\$5.00		Resolution 2-20-2007A

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>	<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
Forfeiture of Fees Applicant fails to complete requirements	Fees Forfeited		Resolution 2-20-2007A

City of Cedar Hills - Fees, Bonds, and Fines Schedule
EFFECTIVE: 12-8-09

<u>Fee</u>	<u>Amount</u>	<u>When Collected</u>	<u>Enabling Legislation (if applicable)</u>
MISC Fees			
Other fees			
Returned Check	\$15.00		Resolution 4-6-2004B
Copies 8.5 x 11	\$0.25		Resolution 6-18-2002A
Copies - Colored 8.5 x 11	\$0.50		Resolution 9-20-2005A
Design Standard Book	\$35.00		Resolution 6-18-2002A
Grama Request Per 8.5 x 11 copy	\$0.25 black/white \$0.50 color		Resolution 6-18-2002A
Grama Request Compiling, Formatting, Manipulating, Packaging, Summarizing or Tailoring	\$0 first quarter hour \$15 per hour thereafter		Resolution 2-20-2007A
Park - Resident Per hour - each area	\$8.00		Resolution 6-18-2002A
Park - Non Resident Per hour - each area	\$16.00		Resolution 6-18-2002A
Park - Reservation Refund Administrative Cost to Refund Fee	was \$8.00 change \$16.00		Resolution 4-17-2007B
Postage	Actual Cost		
Sign Permit	\$1.00	Per Sign, Per Occurrence	Resolution 4-18-2006C
Public Works			
No-fault Meter Re-Read	\$15.00		Resolution 6-21-2005A
Shut-off 2nd Notice	\$15.00		Resolution 6-21-2005A
0-3 day No account Water Turn on/off	\$30.00		Resolution 9-5-2006A
PI hookup/assistance	\$30.00	per hour	Resolution 6-21-2005A
Water Testing	\$50.00	Per Request	Resolution 4-18-2006C
Re-Inspection Fee	\$100.00	Per Occurrence	Resolution 12-12-2007B
Street Closure Fee	\$40.00		Resolution 9-5-2006A
Deposit	\$250.00		
Universal City Late Fee	\$10.00		Resolution 6-21-2005A
Nuisance	\$100.00	Each Day/First Week	Ordinance 6-17-2003A
	\$200.00	Each Day Thereafter	Ordinance 6-17-2003A
911 False Alarm	Actual Dispatch Cost	Each Occurrence	Resolution 6-19-2007A



CITY OF CEDAR HILLS

TO: Mayor McGee, City Council, and Staff
FROM: Kim E. Holindrake, City Recorder
DATE: December 1, 2009

City Council Memorandum

SUBJECT: Setting the Time and Place of City Council Meetings for 2010
APPLICANT PRESENTATION:
STAFF PRESENTATION: Kim E. Holindrake

BACKGROUND AND FINDINGS:

According to UCA 10-3-502, the City is required to set by ordinance the time and place for holding its regular Council meetings, which shall be held at least once each month. Also according to UCA 52-4-202, the City is required to adopt and give notice of its annual meeting schedule for Council meetings.

Please review the attached schedule, which retains City Council meetings on the first and third Tuesday of each month with the exception of April, July, November, and December because of conferences, holidays and elections.

PREVIOUS LEGISLATIVE ACTION:

None

FISCAL IMPACT:

None

SUPPORTING DOCUMENTS:

Proposed ordinance and 2010 meeting schedule

RECOMMENDATION

To approve the proposed 2010 City Council meeting schedule.

MOTION

To adopt Ordinance No. _____, An Ordinance setting the time and place of the regular meetings of the City Council of the City of Cedar Hills, Utah.

ORDINANCE NO. _____

AN ORDINANCE SETTING THE TIME AND PLACE OF THE REGULAR MEETINGS OF THE CITY COUNCIL OF THE CITY OF CEDAR HILLS, UTAH.

WHEREAS, §10-3-502 UCA requires that the time and place of regular City Council meetings be set by ordinance, which meetings shall be held once each month, and

WHEREAS, §52-4-202 UCA requires the City to adopt and give notice of its annual meeting schedule.

NOW THEREFORE, BE IT ORDAINED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILLS, UTAH:

**SECTION I
ESTABLISHMENT OF TIME AND PLACE OF COUNCIL MEETINGS**

The regular meetings of the City Council of the City of Cedar Hills for the year 2010 shall be held according to the attached schedule, commencing at 7:00 p.m. The location of said Council meetings shall be the Cedar Hills Public Safety Building at 3925 W Cedar Hills Drive, Cedar Hills, Utah.

**SECTION II
CONFLICTING ORDINANCES REPEALED**

All other ordinances that are in conflict herewith are hereby repealed.

**SECTION III
EFFECTIVE DATE**

This ordinance shall take effect upon its passage and posting.

PASSED AND ORDERED POSTED BY THE CITY COUNCIL OF THE CITY OF CEDAR HILLS, UTAH, THIS 8TH DAY OF DECEMBER, 2009.

APPROVED:

ATTEST:

Michael C. McGee, Mayor

Kim E. Holindrake, City Recorder

CITY OF CEDAR HILLS PUBLIC NOTICE OF REGULAR MEETINGS FOR THE CITY COUNCIL 2010

Pursuant to Utah Code Annotated, Section 52-4-202, the City of Cedar Hills, Utah, hereby gives notice that the City Council will hold its regular council meetings according to the following schedule beginning at 7:00 p.m. at the Cedar Hills Public Safety Building, 3925 W Cedar Hills Drive, Cedar Hills, Utah.

<u>JANUARY</u>	5 and 19	7:00 p.m.
<u>FEBRUARY</u>	2 and 16	7:00 p.m.
<u>MARCH</u>	2 and 16	7:00 p.m.
<u>APRIL</u>	6 (conferences)	7:00 p.m.
<u>MAY</u>	4 and 18	7:00 p.m.
<u>JUNE</u>	1 and 15	7:00 p.m.
<u>JULY</u>	13 (holiday schedule)	7:00 p.m.
<u>AUGUST</u>	3 and 17	7:00 p.m.
<u>SEPTEMBER</u>	7 and 21	7:00 p.m.
<u>OCTOBER</u>	5 and 19	7:00 p.m.
<u>NOVEMBER</u>	9 (election schedule)	7:00 p.m.
<u>DECEMBER</u>	7 (holiday schedule)	7:00 p.m.

Dated this 15th day of December, 2009.

Kim E. Holindrake, City Recorder



CITY OF CEDAR HILLS

TO: Mayor McGee, City Council, and Staff
FROM: Kim E. Holindrake, City Recorder
DATE: December 1, 2009

City Council Memorandum

SUBJECT: Eagle Scout Project for Welcome to Cedar Hills Sign
APPLICANT PRESENTATION:
STAFF PRESENTATION: Kim E. Holindrake

BACKGROUND AND FINDINGS:

The City Council addressed this item at the October 20, 2009, Council meeting and made the following motion.

MOTION: C. Wright - To direct Hunter Wilson to move forward with a sign for his Eagle Project in the southern location as directed by Konrad Hildebrandt and choosing a combination of proposals 1 and 3, with three boulders at the base or whatever your father and you figure out with a larger boulder at the top with a metal face and landscaping at the base and using the City logo. You can come back and present city slogans if you want. Seconded by C. Perry.

Following the Council's action, Dan Wilson made a request at the November 10, 2009, Council meeting that they be allowed to put the sign in the original location on SR-92. Following that meeting, a poll of the Council allowed the change and the sign was installed on SR-92.

At this time the Council needs to ratify their action to change the sign location.

PREVIOUS LEGISLATIVE ACTION:

FISCAL IMPACT:

SUPPORTING DOCUMENTS:

RECOMMENDATION

MOTION

To ratify the action of the Council to locate the Welcome to Cedar Hills sign on SR-92 as presented by Hunter Wilson as an Eagle Scout.